

AGENDA
CITY OF FALLON - BOARD OF ADJUSTMENT
55 West Williams Avenue
Fallon, Nevada
November 16, 2020 – 6:00 p.m.

The City of Fallon Board of Adjustment will meet on November 16, 2020 at 6:00 p.m. in the City Council Chambers, City Hall, 55 West Williams Avenue, Fallon, Nevada.

Items on the agenda may be taken out of order. The Board of Adjustment may combine two or more agenda items for consideration. The Board of Adjustment may remove an item from the agenda or delay discussion relating to an item on the agenda at any time. Unless otherwise allowed by the Board of Adjustment, public comments by an individual will be limited to three minutes.

1. Certification of compliance with posting requirements.
2. Public Comments: General in nature, not relative to any agenda items. No action may be taken on a matter raised under this item until the matter itself has been specifically included on an agenda as an item upon which action may be taken. (For discussion only)
3. Consideration and possible approval of Board of Adjustment meeting minutes for March 12, 2019 and July 1, 2019.
4. Consideration and possible approval of an application by Elizabeth Cummerow, 961 Sunset Drive (APN #001-333-07), for a variance in an R-1 zone to encroach approximately 18 feet into the 20-foot front setbacks in order to install a metal carport. (For possible action)
5. Public Comments. (For discussion only)

Pursuant to Governor Sisolak's Declaration of Emergency Directive 006 entered on March 22, 2020, and extended by Emergency Directive 016 entered on April 29, 2020, by Emergency Directive 018 entered on May 7, 2020, by Emergency Directive 021 entered on May 28, 2020, by Emergency Directive 026 entered on June 29, 2020 and by Emergency Directive 029 entered on July 31, 2020, this agenda has been posted on or before 9:00 a.m. on November 10, 2020 at City Hall, to the City's website (<https://fallonnevada.gov>) and to the State of Nevada public notice website (<https://notice.nv.gov/>). Members of the public may request the supporting material for this meeting by contacting Elsie M. Lee, Deputy City Clerk, at (775) 423-5104 or elee@fallonnevada.gov. The supporting material for this meeting is also available to the public on the City's website (<https://fallonnevada.gov>) and the State of Nevada public notice website (<https://notice.nv.gov/>).


Elsie M. Lee

NOTICE TO PERSONS WITH DISABILITIES: Reasonable effort will be made to assist and accommodate physically handicapped persons desiring to attend the meeting. Please call the City Clerk's Office at 423-5104 in advance so that arrangements may be conveniently made.

City of Fallon Board of Adjustment Meeting

November 16, 2020

Item 3

FALLON

Incorporated 1908

Consideration and possible approval of Board of Adjustment meeting minutes for March 12, 2019 and July 1, 2019.

**MINUTES
CITY OF FALLON
BOARD OF ADJUSTMENT
55 West Williams Avenue
Fallon, Nevada
March 12, 2019**

The Board of Adjustments met in a scheduled meeting on the above date at 6:00 p.m. in the Council Chambers.

Present:

Chris Webb, Acting Chairwoman
Kim Barrenchea, Board Member
Karla Kent, Board Member
Sheila Scholz, Board Member
Leonard Mackedon, Deputy City Attorney

The meeting was called to order by Acting Chairwoman Webb at 6:00 p.m., following which, it was noted the agenda was posted in compliance with NRS Chapter 241.

The minutes for May 22, 2018 and October 23, 2018 were reviewed. Motion was made by Karla Kent to approve the minutes for May 22, 2018 and October as submitted; seconded by Karla Kent and unanimously approved.

Acting Chairwoman Webb advised as to the procedure for the meeting. She advised the applicant would be called on to explain the purpose of their request for a variance. The Board would then ask any questions they may have, comments would be called from the public and after all comments were heard, the meeting would be closed to further input and the Board would then discuss the matter.

Acting Chairwoman Webb advised that the Board has 30 days in which to make their decision, followed by 10 days to appeal, if desired by the applicant. In total, once a decision has been reached and the appeal period has expired, the applicant has 180 days in which to enact the variance.

The following agenda item was presented and discussed:

Consideration and possible approval of an application by Miguel Huchin, 519 Lincoln Street (APN #001-518-08), for a variance in an R-2 zone to encroach 6 feet into the 10-foot rear setback in order to build a carport

Ramona Huchin explained via translator that she wants to have a carport installed to keep her vehicle out of the weather.

Kim Barrenchea asked what the material of the carport would be.

Ms. Huchin stated that a contractor would install it.

Deputy City Attorney Leonard Mackedon added that it is a pre-manufactured metal carport. He submitted a letter from the property owner into the record. (*Letter is attached to these minutes.*) The property owner, Eric Blakey, signed off on this as an acceptable use; ensuring that this will be temporary. The City's inspector will need to perform a site analysis through the City Building Department. If this request is approved tonight, the carport would still need to be installed in a manner that is temporary and acceptable to City building codes in relation to the foundation.

Karla Kent clarified that the carport would be anchored into the ground so the wind would not take it away.

Deputy City Attorney Leonard Mackedon replied affirmatively.

Acting Chairwoman Webb asked if the next step, if approved, would be to go to the City building department and work with them before purchase.

Deputy City Attorney Leonard Mackedon replied affirmatively, the applicant would need to work with the City building department, the landlord, and the contractor.

Karla Kent clarified that this Board is just tasked with allowing or not allowing the structure within the setbacks.

Deputy City Attorney Leonard Mackedon replied affirmatively, the Board is approving or not approving the location only. Anchoring of the carport is for the City building department to follow up on.

Sheila Scholz stated that it looked like rentals are in the area. She asked if property owners receive the notice of this request.

Deputy City Attorney Leonard Mackedon replied affirmatively.

Sheila Scholz asked Ms. Huchin if she had discussed her plans with her neighbors.

Ms. Huchin stated that the three surrounding neighbors are aware of these plans.

Acting Chairwoman Webb asked if any calls related to this variance request were received.

It was noted for the record that no calls were received.

Acting Chairwoman Webb inquired if the City Clerk's Office had received any other correspondence or comments regarding this variance request.

It was noted for the record that no additional correspondence had been received.

Acting Chairwoman Webb inquired if there were any public comments.

No public comments were noted.

Sheila Scholz motioned to approve an application by Miguel Huchin, 519 Lincoln Street (APN #001-518-08), for a variance in an R-2 zone to encroach 6 feet into the 10-foot rear setback in order to build a carport; seconded by Kim Barrencea and approved.

Public Comments

Acting Chairwoman Webb inquired if there were any public comments.

No public comments were noted.

As there was no further business or discussion, the meeting was adjourned at 6:05 p.m.

Respectfully Submitted,

Approved,

Valerie Swirczek
Recording Secretary

Chris Webb
Acting Chairwoman

Subject: 519 Lincoln Street
Date: Sunday, March 3, 2019 at 10:05:10 AM Pacific Standard Time
From: Eric Blakey
To: Robert Erquiaga
CC: Hotwire Office, Celestia Blakey
Attachments: image001.png

Robert,

We are in receipt of the Board of Adjustment notice concerning the variance request for the installation of a carport. As you see from the application we have signed in agreeance it is ok to install should City code allow such.

I would just like to make sure the tenant has communicated correctly with the City that this is a portable carport not a permanent structure.

Best Regards,

Eric Blakey



PO Box 344 Fallon, NV 89407
310 W. Williams Av. Suite B Fallon, NV 89406
(775)745-4283
eric@gumcornerproperties.com

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**MINUTES
CITY OF FALLON
BOARD OF ADJUSTMENT
55 West Williams Avenue
Fallon, Nevada
July 1, 2019**

The Board of Adjustments met in a scheduled meeting on the above date at 6:00 p.m. in the Council Chambers.

Present:

Jack Beach, Chairman
Chris Webb, Board Member
Kim Barrencea, Board Member
Sheila Scholz, Board Member
Leonard Mackedon, Deputy City Attorney
Derek Zimney, City Engineer

The meeting was called to order by Chairman Beach at 6:00 p.m., following which, it was noted the agenda was posted in compliance with NRS Chapter 241.

Chairman Beach advised as to the procedure for the meeting. He advised the applicant would be called on to explain the purpose of their request for a variance. The Board would then ask any questions they may have, comments would be called from the public and after all comments were heard, the meeting would be closed to further input and the Board would then discuss the matter.

Chairman Beach advised that the Board has 30 days in which to make their decision, followed by 10 days to appeal, if desired by the applicant. In total, once a decision has been reached and the appeal period has expired, the applicant has 180 days in which to enact the variance.

The following agenda items were presented and discussed:

Consideration and possible approval of an application by Dustan Drinkut, 981 St. Patrick Court (APN #001-295-07), for a variance in an R-1 zone to encroach approximately 3 feet into the 5-foot side and rear setbacks in order to construct an enclosed metal carport

Dustan Drinkut explained that he would like to install an enclosed steel carport over the existing concrete driveway. The structure would be steel framed and insulated. It would encroach 3 feet toward his neighbor and 3 feet toward the alley.

Board member Scholz stated that it was difficult to see the area due to the number of cars parked around it. She had a concern about there being enough space to place the structure. She asked if he had spoken to his neighbors about his plans.

Mr. Drinkut stated that he had spoken with his neighbors and they did not have a problem.

Board member Scholz confirmed that, if this variance were granted, there would be 2 feet to the fence line.

Mr. Drinkut replied affirmatively.

Chairman Beach clarified that Mr. Drinkut would remove the existing structure over the driveway and replace it with this steel one.

Mr. Drinkut replied affirmatively.

Board Member Scholz stated that she did not realize there was an existing building that would be replaced.

Board Member Webb asked if the City Engineer had any comments about this.

City Engineer Zimney stated that he did not have any comments.

Chairman Beach asked if any calls related to this variance request were received.

It was noted for the record that no calls were received.

Chairman Beach inquired if the City Clerk's Office had received any other correspondence or comments regarding this variance request.

It was noted for the record that no additional correspondence had been received.

Chairman Beach inquired if there were any public comments.

Mr. William Hitt of 940 St. Patrick Court stated that he had no objection to this variance request.

Chris Webb motioned to approve an application by Dustan Drinkut, 981 St. Patrick Court (APN #001-295-07), for a variance in an R-1 zone to encroach approximately 3 feet into the 5-foot side and rear setbacks in order to construct an enclosed metal carport; seconded by Kim Barrenchea and approved.

Consideration and possible approval of an application by George Byars, 742 Keppel Street (APN #001-042-22), for a variance in an R-1 zone to encroach approximately 10 feet into the 20-foot rear setback in order to construct a patio cover

George Byars explained that there is an existing patio in the rear of his home that he would like to cover so he could use it more often. If he stayed within the setback, he would only be able to cover half of his patio. He would like to cover the entire patio. He just moved to Fallon, loves his house and would like to love his patio too.

Chairman Beach noted that if the present patio encroaches into the setback, was a variance already issued, or was one even needed.

City Engineer Zimney stated that there is not a variance on record for this property. If this patio cover is approved, you can include that being allowed.

Chairman Beach stated that he visited the site and there is still 10 feet to the fence line which seems to be plenty of room.

Board Member Barrenchea inquired as to the type of material that would be used to construct the patio cover.

Mr. Byars advised that it would be constructed of wood.

Chairman Beach asked if Mr. Byars planned to build it himself or hire a contractor.

Mr. Byars replied that he would build it himself.

Board Member Webb inquired if the City Clerk's Office had received any other correspondence or comments regarding this variance request.

It was noted for the record that no additional correspondence had been received.

City Engineer Zimney noted that he did not receive any comments related to this request.

Board Member Webb asked City Engineer Zimney if he had any issues with this variance.

City Engineer Zimney stated that he did not have any issues with this request.

Chairman Beach inquired if there were any public comments.

No public comments were noted.

Kim Barrencea motioned to approve an application by George Byars, 742 Keppel Street (APN #001-042-22), for a variance in an R-1 zone to encroach approximately 10 feet into the 20-foot rear setback in order to construct a patio cover; seconded by Sheila Scholz.

City Engineer Zimney inserted his statement to amend this motion to include the existing patio.

Kim Barrencea amended the motion to approve an application by George Byars, 742 Keppel Street (APN #001-042-22), for a variance in an R-1 zone to encroach approximately 10 feet into the 20-foot rear setback in order to construct a patio cover and include the existing patio; seconded by Sheila Scholz and approved.

Consideration and possible approval of an application by Carolynne Daniels, 441 Michael Drive (APN #001-071-11), for a variance in an R-1 zone to operate an in-home daycare business

This agenda item was withdrawn.

Consideration and possible approval of an application by Parkside Bible Fellowship, 485 Tedford Lane (APN #001-352-03), for a variance in an R-2 zone to encroach approximately 5 feet-8 inches into the 15-foot front setback in order to construct an addition to the church

Pastor Brennen Behimer, representing the ownership of the church, explained that they would like to construct an addition to the building on the south side which would require the encroachment of 5 feet and 8 inches into the setback. He deferred any technical questions to Mr. Bob Getto, as he is here tonight representing the contractor for this project.

Board Member Webb confirmed that the addition would match the existing structure.

Mr. Getto confirmed that the design would match the church, so much so that you would not be able to tell there was an addition. It will provide more administration space, they have outgrown their existing administration portion of the building which is why the work would be on the south side, to tie into the existing administration area.

Chairman Beach asked if any calls related to this variance request were received.

It was noted for the record that no calls were received.

Chairman Beach inquired if the City Clerk's Office had received any other correspondence or comments regarding this variance request.

It was noted for the record that no additional correspondence had been received.

Board Member Webb asked City Engineer Zimney if he had any concerns with this project.

City Engineer Zimney stated that he did not have any concerns.

Chairman Beach inquired if there were any public comments.

No public comments were noted.

Sheila Scholz motioned to approve an application by Parkside Bible Fellowship, 485 Tedford Lane (APN #001-352-03), for a variance in an R-2 zone to encroach approximately 5 feet-8 inches into the 15-foot front setback in order to construct an addition to the church; seconded by Chris Webb and approved.

Public Comments

Chairman Beach inquired if there were any public comments.
No public comments were noted.

As there was no further business or discussion, the meeting was adjourned at 6:18 p.m.

Respectfully Submitted,

Valerie Swirczek
Recording Secretary

Approved,

Jack Beach
Chairman

City of Fallon Board of Adjustment Meeting

November 16, 2020

Item 4

Incorporated 1908

Consideration and possible approval of an application by Elizabeth Cummerow, 961 Sunset Drive (APN #001-333-07), for a variance in an R-1 zone to encroach approximately 18 feet into the 20-foot front setbacks in order to install a metal carport. (For possible action)

\$50 paid
11/2/20 - DZ

City of Fallon

VARIANCE APPLICATION FOR: _____ Business or ✓ Home Improvement
Please check one
Applicant: ELIZABETH CUMMEROW
Address: 961 SUNSET
Telephone Number: 775-294-1361

Owner _____ In Escrow _____ Leasehold _____

Purchasers in escrow must file proof of title with Variance Board before granted variances are effective.

Legal Description of Property Involved: Lot _____, Blk _____ Subdivision _____
Street and Number 961 SUNSET
(Attach sheet for Metes & Bounds Description)
Variance Requested: ENCROACH 18' ON A 20' FRONT SET BACK

Ordinance Provisions: _____ Zoning _____
Deed Restrictions _____
Former Restrictions _____
Expiration Date: _____

Applicants must present evidence of ability and intent to proceed with actual construction within six months of the above filing date.

It is not possible for me to use the above described property in the way it is zoned because: I NEED A CARPORT AND MY SETBACKS DO NOT ALLOW FOR IT

My inability to use the above described property in the way I desire causes an undue hardship on me because: (Financial hardship is not considered valid). WE HAVE LIMITED SPACE AND WE WANT TO PARK IN THE SHAD

The above described property is different from other properties in the same area zoned the same classification because: N/A

Use of the above-described property in the manner proposed by this application will not be detrimental to surrounding properties because: THERE ARE SIMILAR CARPORTS IN MY AREA

PLOT PLANS MUST ACCOMPANY THIS APPLICATION

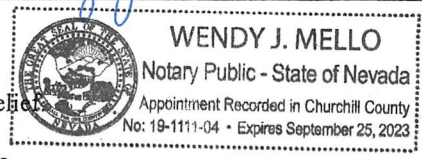
I, ELIZABETH CUMMEROW owner in fee of the above described property state that this application for a variance has been made with my full knowledge and consent and the facts stated above are true to the best of my knowledge and belief.

Owner: ELIZABETH CUMMEROW
Address: 961 SUNSET
Phone #: 775-294-1361
Signature: [Signature]

All the above facts as stated herein are correct to my knowledge and belief.

Applicant: ELIZABETH CUMMEROW
Address: 961 SUNSET
Phone #: 775-294-1361
Signature: [Signature]

{Nevada
{County of Churchill
Signed and sworn to before me on 2nd day of Nov 2020
by Wendy J Mello



{Nevada
{County of _____
Signed and sworn to before me on _____
by _____
{
{
{

City of Fallon
55 W Williams Ave
Fallon NV 89406

775-423-5104

Receipt No: 1.358744

Nov 2, 2020

CUMMEROW, ELIZABETH

Previous Balance:	.00
Miscellaneous Revenues	
VARIANCE - 961 SUNSET	50.00
Total:	50.00
Cash	50.00
Payor:	
CUMMEROW, ELIZABETH	
Total Applied:	50.00
Change Tendered:	.00

Duplicate Copy
11/02/2020 9:57 AM



Building Department

55 West Williams Avenue
Fallon, Nevada 89406
Phone: (775) 423-9862 / 423-5107
Fax: (775) 423-8874
buildingpermits@fallonnevada.gov

Permit # _____

PERMIT APPLICATION

Two (2) sets of plans including one (1) wet-stamped are required.

The minimum size for plans submittal is 11" x 17" and maximum is 24" x 36".

Only complete applications will be accepted and processed. Please enter "N/A" in sections that do not apply.

Job Information			
Tenant Name <i>ELIZABETH CUMMEROW</i>		Address <i>961 SUNSET DR.</i>	
Owner Name <i>ELIZABETH CUMMEROW</i>		Owner Address (if different) <i>SAME</i>	
Owner Phone <i>775-294-1361</i>		Valuation	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial
Zoning <i>R-1</i>	Setbacks Front: <i>20'</i> Side: <i>5'</i> Side: <i>10'</i> Rear: <i>20'</i>		FEMA Flood Zone
Contractor Information			
Name <i>AMERICAN CARPORTS</i>		Address <i>457 N. BROADWAY, JOSHUA TX. 76058</i>	
NV Contractors License No. <i># 13242</i>		Fallon Business License No.	
Contact Person <i>FABI ORDUNO</i>		Email <i>FORDUNO@AMERICANSTEELINC.COM</i>	
Office Phone <i>1-866-730-9865</i>		Fax	Mobile
Architect & Engineer Information (If Applicable)			
Architect		Engineer	
Address		Address	
Office Phone	Office Fax	Office Phone	Office Fax
Email	Mobile	Email	Mobile
Contact Person (responsible for plan revisions)		Contact Person (responsible for plan revisions)	
Description of Work			
HVAC Installations <input type="checkbox"/> Change-Out <input type="checkbox"/> New <input type="checkbox"/> Electric unit to gas <input type="checkbox"/> A/C, H/P (___ tons)	Water Heater <input type="checkbox"/> Gas <input type="checkbox"/> Electric <input type="checkbox"/> Gas to Electric <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate	Minor Electrical & Plumbing <input type="checkbox"/> Electrical service change _____ (#) of Amps <input type="checkbox"/> New electric circuits <input type="checkbox"/> Water service replacement <input type="checkbox"/> Sewer service replacement <input type="checkbox"/> Gas line add/replace ___ ft	Re-Roof & Siding <input type="checkbox"/> Tear off <input type="checkbox"/> Recover (MAX 2 layers) <input type="checkbox"/> Composition _____ yr <input type="checkbox"/> Stucco <input type="checkbox"/> Siding <input checked="" type="checkbox"/> Indicate Other _____
Complete description of work if other than noted above, please be specific and include everything that is being modified. <i>INSTALL ONE METAL CARPORT</i>			

The following approvals shall be initiated by the applicant prior to acceptance of the application:		
City of Fallon Variance	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
State Health Department (if building involves food & drink handling)	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
State and Local Fire Marshal	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
NDOT (if highway access required to lot)	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
Geotechnical/Engineering Report	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A

I understand that this application does not guarantee permit issuance nor allow work to commence. I understand and agree that the City of Fallon does not enforce C.C.&R.'s and has no obligation to explain every requirement and ordinance to me prior to my project. I certify that the information provided is true and correct to the best of my knowledge and I am authorized to submit this application for review. I agree to comply with all ordinances and laws regulating work in the City of Fallon. I certify that the work to be done under this permit is for the purpose of improving the property stated; that I am familiar with the requirements of the adopted building codes of the City of Fallon, as affecting this work and that I will call for required inspections. Construction must be performed by a contractor licensed in the State of Nevada for the work performed except for Home Owner/Builders. I further acknowledge that the Department of Building Inspection has made no inquiry as to the status of legal title to this land beyond my representations and hereby agree to hold the City of Fallon and the Department of Building Inspection harmless in the event any person claiming paramount title should make a claim based upon this permit against the City of Fallon and the Department of Building Inspection. I agree to save, indemnify and keep harmless the City of Fallon and its officers, employees and agents against all liabilities, judgments, costs and expenses which accrue against the City in consequence of the granting of this authorization. I further certify that I am the owner or the owner's authorized agent:

ELIZABETH CUMMEROW  9-23-20
 Print Applicant Name Applicant Signature Date

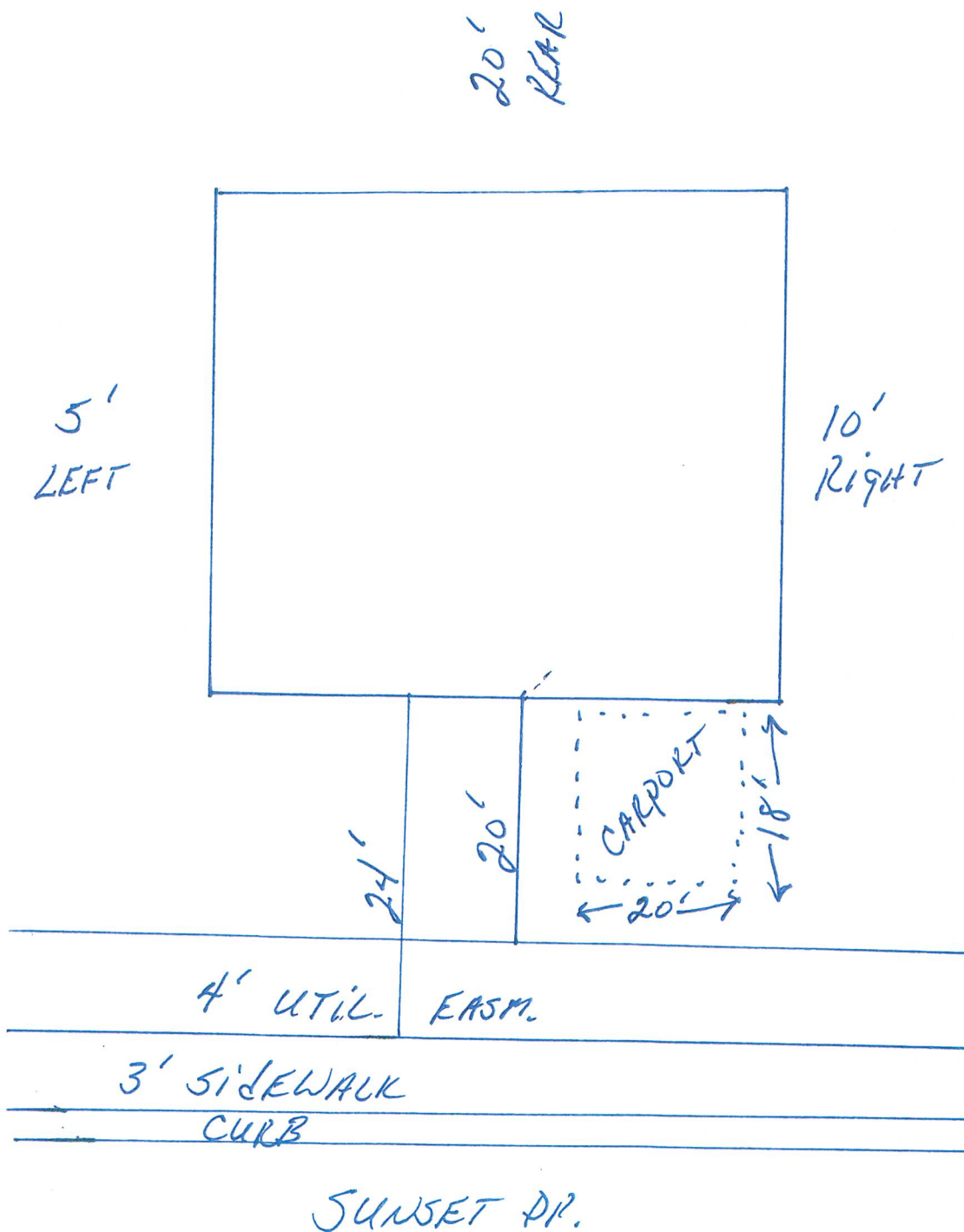
THIS AUTHORIZATION SHALL BECOME VOID IF NOT ACTED UPON WITHIN SIXTY DAYS OF ISSUANCE, OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED, AND MAY BE VOIDED IF INCORRECT INFORMATION OR ADDITIONAL INFORMATION IS DISCOVERED THAT MAY JUSTIFY THE SAME.

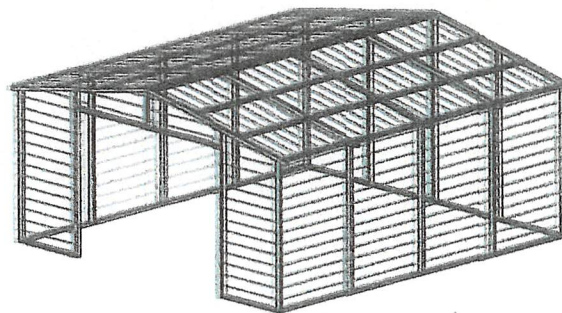
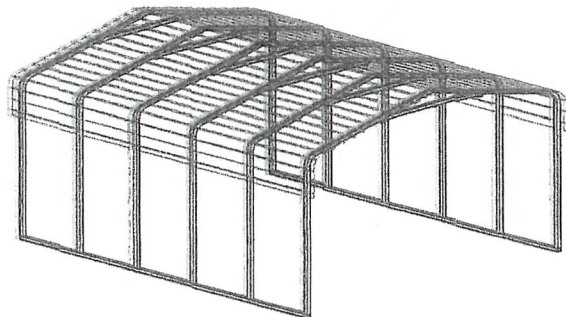
TO BE COMPLETED BY BUILDING DEPARTMENT

Accepted By	Date
Elevation Certificate	<input type="checkbox"/> Required <input type="checkbox"/> N/A

Permit Number	\$ Permit Cost
---------------	----------------

Notes:





REGULAR / A-FRAME 20'-0" WIDE CARPORT STYLE BUILDINGS

DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH IBC 2018, OSHA, AISC 360, AISI 100, ASCE 7-16, AWS D 1.3 CODES AND ALL APPLICABLE LOCAL REQUIREMENTS.
2. BASE CONNECTIONS SHALL BE PROVIDED AS SHOWN ON FOUNDATION DETAILS SHEET.
3. ALL MATERIALS IDENTIFIED BY MANUFACTURER NAME MAY BE SUBSTITUTED WITH MATERIAL EQUAL OR EXCEEDING ORIGINAL.
4. ALL SHOP CONNECTIONS SHALL BE WELDED CONNECTIONS.
5. ALL FIELD CONNECTIONS SHALL BE #12X1" SDS (ESR-2196 OR EQ).
6. STEEL SHEATHING SHALL BE 29GA. CORRUGATED GALV. OR PAINTED STEEL - MAIN RIB HT. 3/4" (FY=80KSI) OR EQ.
7. ALL STRUCTURAL LIGHT GAUGE TUBING AND CHANNELS SHALL BE GRADE 50 STEEL.
8. STRUCTURAL TUBE T52 1/2"X2 1/2" - 14GA. IS EQUIVALENT TO T52 1/4"X2 1/4" - 12GA. AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
9. ALL DESIGN CRITERIA MUST BE INCREASED TO THE NEXT HIGHER INCREMENT BASED ON THE TABLES ON PAGE 4. NO INTERPOLATION IS ALLOWED.

DESIGN CRITERIA

PREVAILING CODE: IBC 2018
USE GROUP: U (CARPORTS, BARNES)
RISK CATEGORY: I

- | | | |
|----|--------------------------|--|
| 1. | DEAD LOAD (D) | D = 4 PSF |
| 2. | ROOF LIVE/SNOW LOAD (Lr) | Lr = 20 - 61 PSF
(AS PER SNOW LOAD
SEE TABLE 4) |
| 3. | SNOW LOAD (S) | GROUNDSNOW LOAD
IMPORTANCE FACTOR
THERMAL FACTOR
EXPOSURE FACTOR
ROOF SLOPE FACTOR |
| | | S _g = 20 - 90 PSF
I _s = 0.8
C _t = 1.2
C _e = 1.0
C _s = 1.0 |
| 4. | WIND LOAD (W) | BASIC WIND SPEED
EXPOSURE
SEISMIC LOAD (E) |
| | | V _{ULT} = 105 - 180 MPH
C
DESIGN CATEGORY D
IMPORTANCE FACTOR I _e = 1.00 |

LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

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OPTIONAL LEAN-TO ADDITION	---	10
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MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL
6068 Renaissance Plaza, Toledo, OH 43623
Tel: 419-292-1983 • Fax: 419-292-0955
www.aandengineering.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF NEVADA
PROJECT NO.: 233-20-0003
SHEET TITLE:

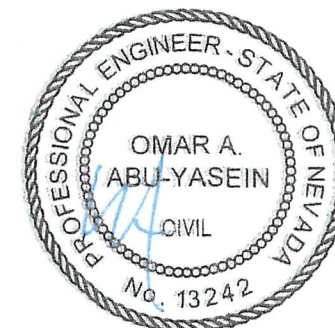
COVER SHEET

SHEET NO.: 1 / 11
DRAWN BY: AW DATE: 2/12/20
CHECKED BY: OAA DATE: 2/12/20

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



CUSTOMER INFORMATION

OWNER:
ADDRESS:

DESIGN LOADS

GROUND SNOW:

ROOF LIVE LOAD:

BASIC WIND SPEED:

BUILDING INFORMATION

WIDTH:

LENGTH:

HEIGHT:

FRAME TYPE:

ENCLOSURE
TYPE:

- ☐ A-FRAME
☐ REGULAR
☐ FULL
☐ PARTIAL
☐ OPEN

CERTIFICATION VALIDITY NOTICE

DATE OF
EXPIRATION: **FEB 12 2021**
CERTIFICATION ON THESE DRAWINGS IS
VALID FOR ONE YEAR FROM DATE OF ISSUE

DATE EXPIRES: **12/31/2020**
DATE SIGNED: **FEB 12 2020**

TABLE 2.1: MEMBER PROPERTIES

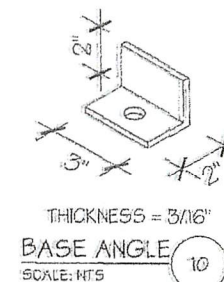
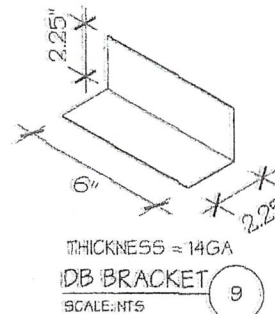
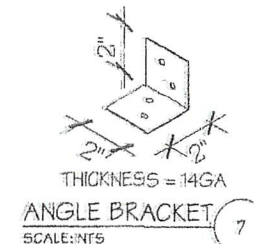
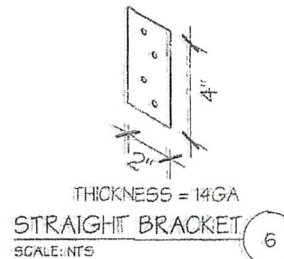
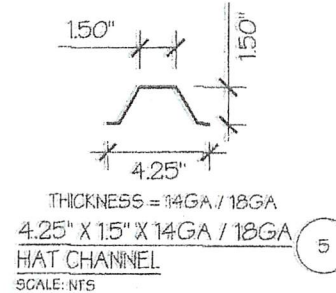
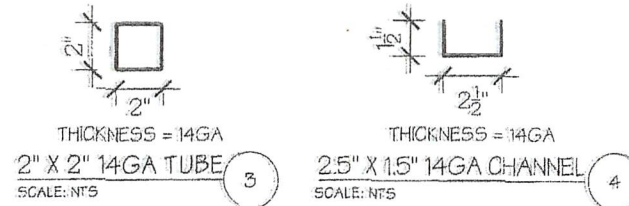
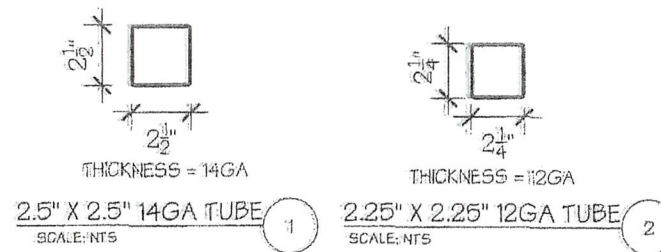
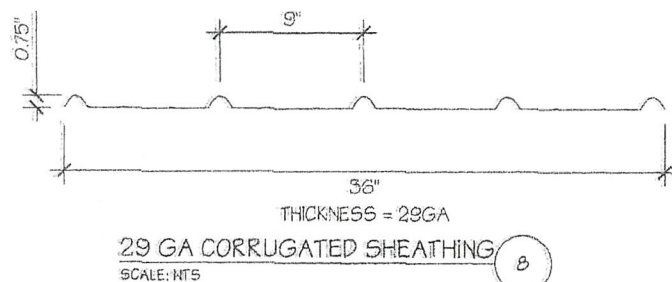
NO.	LABEL	PROPERTY	DETAIL NO.
1	COLUMN POST	2.5" X 2.5" X 14GA TUBE	1
2	ROOF BEAM	2.5" X 2.5" X 14GA TUBE	1
3	BASE RAIL	2.5" X 2.5" X 14GA TUBE	1
4	PEAK BRACE	2.5" X 2.5" 14GA CHANNEL	4
5	KNEE BRACES	2.5" X 1.5" 14GA CHANNEL	4
6	CONNECTOR SLEEVE	2.25" X 2.25" X 12GA TUBE	2
7	BASE ANGLE	2" X 2" X 3" LG. 3/16" ANGLE	10
8	PURLIN	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9	GIRT	4.25" X 1.5" X 14GA / 18GA HAT CHANNEL	5
9A	OPT. END WALL GIRT	2.5" X 1.5" 14GA CHANNEL	1
10	SHEATHING	29 GA CORRUGATED SHEET	8
11	END WALL POST	2.5" X 2.5" X 14GA TUBE	1
12	DOOR POST	2.5" X 2.5" X 14GA TUBE	1
13	SINGLE HEADER	2.5" X 2.5" X 14GA TUBE	1
14	DOUBLE HEADER	DBL. 2.5" X 2.5" X 14GA TUBE	1
15	SERVICE DOOR / WINDOW FRAMING	2.5" X 2.5" X 14GA TUBE	1
16	ANGLE BRACKET	2" X 2" X 2" LG. 14GA ANGLE	7
17	STRAIGHT BRACKET	2" X 2" X 4" LG. 14GA PLATE	6
18	PB SUPPORT	2.5" X 2.5" X 14GA TUBE	1
19	DIAGONAL BRACE	2" X 2" X 14 GA TUBE	3
20	GABLE BRACE	2" X 2" X 14 GA TUBE	3
21	DB BRACKET	2.25" X 2.25" X 6" LG. 14GA ANGLE	9
22	TRUSS SPACER	2.5" X 2.5" X 14GA TUBE	1
23	ALL FASTENERS	#12 X 1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER	

TABLE 2.2: SHEATHING FASTENER SCHEDULE

LOCATION	CORNER PANELS	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" C/C	MIN. 1	4 1/2" C/C	9" C/C

FASTENER TYPE: #12X1" SELF-DRILL SCREWS (ESR-2196 OR EQ) W/ NEOPRENE/STEEL WASHER

*SEE TYP. SHEATHING FASTENER SCHEDULE DIAGRAM ON PAGE 6.



MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL
6063 Hemisphere Place, Toledo, OH 448
Tel. 419-292-4183 • Fax: 419-292-095
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDING

LOCATION: STATE OF NEVADA

PROJECT NO.: 233-20-0003

SHEET TITLE:

SCHEDULES & MEMBER SECTION

SHEET NO.: 2 / 11

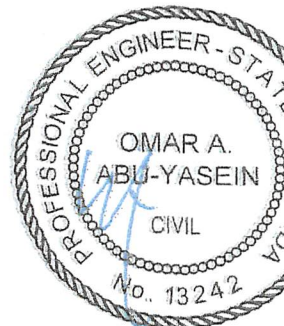
DRAWN BY: AW DATE: 2/12

CHECKED BY: OAA DATE: 2/12

LEGAL INFORMATION

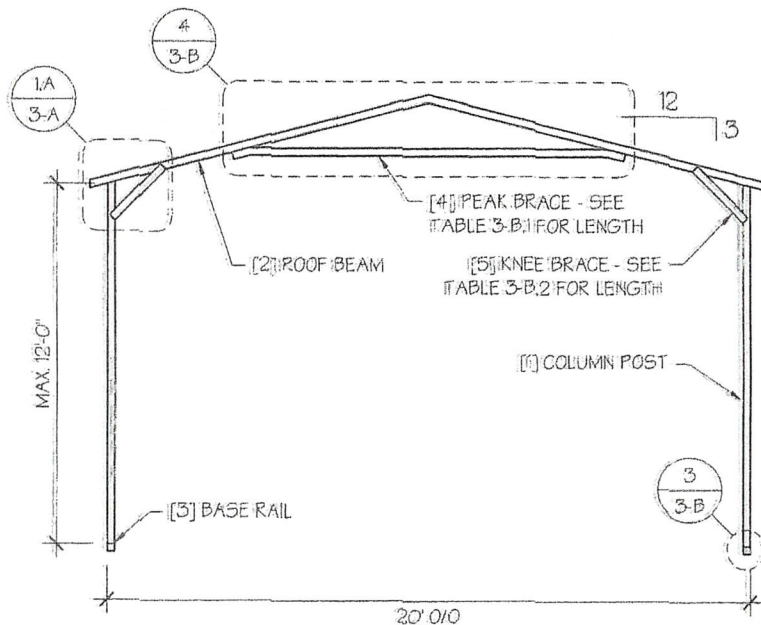
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SEAL:

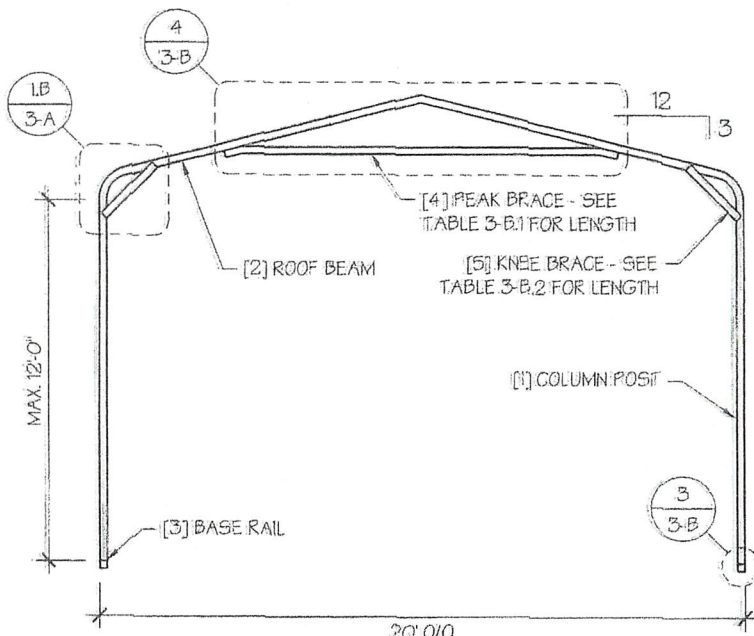


DATE EXPIRES: 12/31/2020

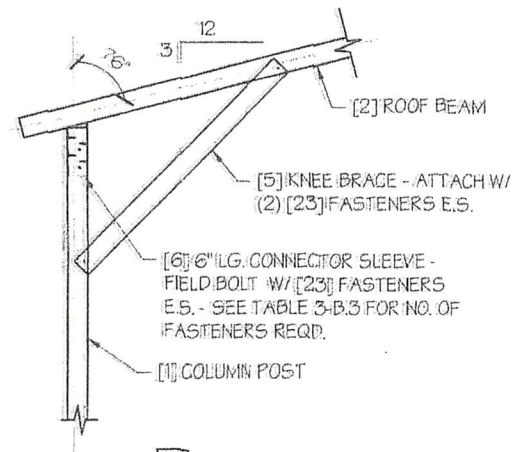
DATE SIGNED: FEB 12 2020



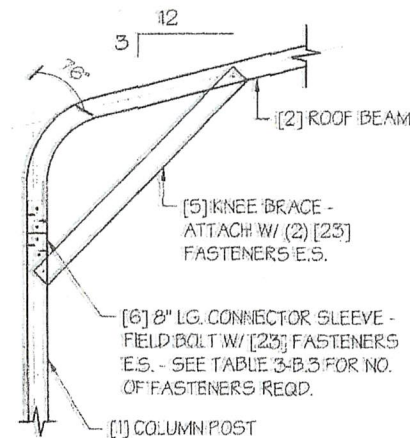
☐ TYP. A-FRAME SECTION
SCALE: NTS



☐ TYP. REGULAR FRAME SECTION
SCALE: NTS



☐ A. A-FRAME



☐ B. REGULAR-FRAME

EAVE DETAIL
SCALE: NTS

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL

4866 Renaissance Place, Toledo, OH 43623
Tel. 419-292-1983 • Fax 419-292-0933
www.a-a-engineer.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF NEVADA

PROJECT NO.: 233-20-0003

SHEET TITLE:

FRAME SECTIONS & DETAILS

SHEET NO.: 3-A / 11

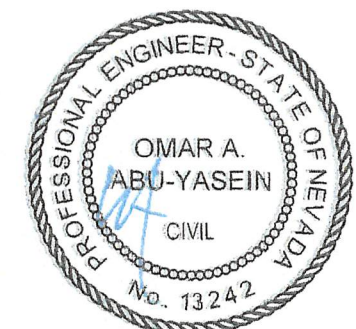
DRAWN BY: AW DATE: 2/12/20

CHECKED BY: OAA DATE: 2/12/20

LEGAL INFORMATION

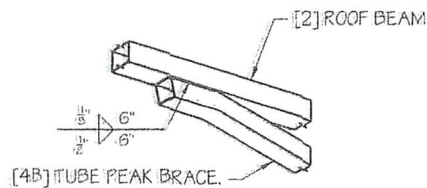
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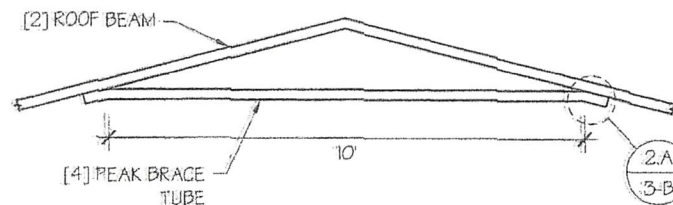


DATE EXPIRES: 12/31/2020

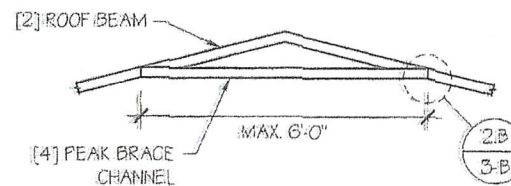
DATE SIGNED: FEB 12 2020



A. PEAK BRACE TUBE

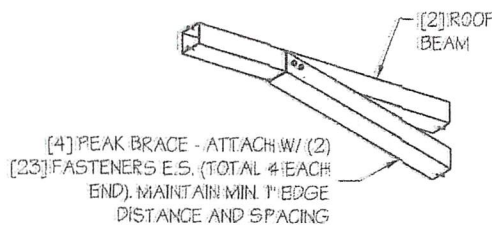


A. WELDED PEAK BRACE



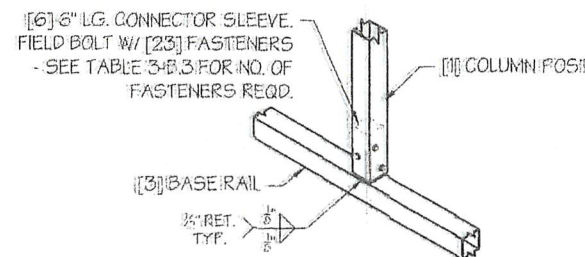
B. CHANNEL PEAK BRACE

PEAK BRACE DETAILS 4
SCALE: NTS



B. PEAK BRACE CHANNEL

PEAK BRACE CONNECTION DETAILS 2
SCALE: NTS



BASE DETAIL 3
SCALE: NTS

TABLE 3-B.1: PEAK BRACE SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	WIND SPEED	
	105 TO 130	140 TO 180
30 / 20	6'	10'
35 / 25 TO 90 / 61	10'	10'

TABLE 3-B.2: KNEE BRACE SCHEDULE

EAVE HEIGHT	KNEE BRACE LENGTH
0' UP TO 8'	24"
9' TO 12'	36"

TABLE 3-B.3 FASTENER SCHEDULE

WIND SPEED (MPH)	NO. OF FASTENERS
105 TO 125	4
130 TO 155	6
160 TO 180	8

NOTE: COLUMN POST MAY BE ADJUSTED $\pm 1"$ FOR LEVELING.
MANUFACTURER IS NOT RESPONSIBLE FOR LEVELING OF GROUND
AND/OR CONCRETE SURFACE PROVIDED BY OTHERS.

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL - STRUCTURAL
6068 Renaissance Place, Toledo, OH 43624
TEL: 419-292-1989 • FAX: 419-292-0956
WWW.A&AENGINEERING.COM

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF NEVADA

PROJECT NO.: 233-20-0003

SHEET TITLE:

FRAME DETAILS

SHEET NO.: 3-B / 11

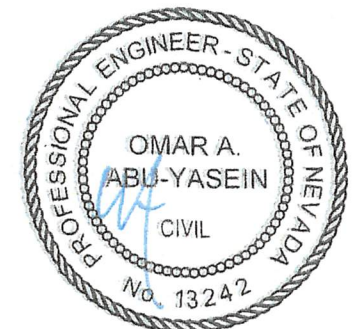
DRAWN BY: AW DATE: 2/12/20

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- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



DATE EXPIRES: 12/31/2020

DATE SIGNED: FEB 12 2020

TABLE 4: FRAME SPACING SCHEDULE

GROUND SNOW / ROOF LIVE LOAD (PSF)	■ ENCLOSED BUILDINGS							■ OPEN BUILDINGS						
	WIND SPEED (MPH)							WIND SPEED (MPH)						
	105	115	130	140	155	165	180	105	115	130	140	155	165	180
30/120	60	60	54/60	54	42	36	36	60	54/60	48/60	42/54	36/42	36	36
40/127	48/60	48/60	42/60	42/54	42	36	36	48	48	42/48	42/48	36/42	36	36
50/134	40/48	40/48	40/48	40/48	40/42	36	36	40/42	40/42	40/42	40/42	36/42	36	36
60/141	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36	36	36
70/147	32/36	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30	30
80/154	30	30	30	30	30	30	30	24	24	24	24	24	24	24
90/161	24	24	24	24	24	24	24	18	18	18	18	18	18	18
30/120	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/48	36/42
40/127	48/60	48/60	42/60	42/54	42/48	42/48	42	48/54	48/54	42/54	42/54	36/48	36/48	36/42
50/134	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/42	40/42	40/42	40/42	36/42	36/42	36/42
60/141	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36	36	36	36	36	36	36
70/147	32/36	32/36	32/36	32/36	32/36	32/36	32/36	30	30	30	30	30	30	30
80/154	30	30	30	30	30	30	30	30	30	30	30	30	30	30
90/161	24	24	24	24	24	24	24	24	24	24	24	24	24	24
30/120	60	60	54/60	54	48	42/48	42	60	54/60	48/60	42/54	36/48	36/48	36/42
40/127	48/60	48/60	42/60	42/54	42/48	42/48	42	48/60	48/60	42/60	42/54	36/48	36/48	36/42
50/134	40/48	40/48	40/48	40/48	40/48	40/48	40/42	40/48	40/48	40/48	40/48	36/48	36/48	36/42
60/141	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42	36/42
70/147	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36	32/36
80/154	30	30	30	30	30	30	30	30	30	30	30	30	30	30
90/161	24	24	24	24	24	24	24	24	24	24	24	24	24	24

NOTES:

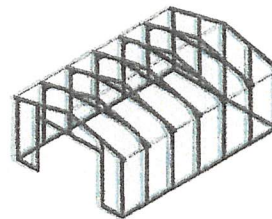
1. FRAME SPACINGS ARE IN UNITS OF INCHES (IN).
2. WHERE TWO VALUES ARE SHOWN, THE HIGHER VALUE CAN ONLY BE USED FOR VERTICAL SHEATHING.
3. SNOW LOADS AND ROOF LIVE LOADS ARE IN POUNDS PER SQUARE FOOT (PSF). WIND SPEED IS 3 SEC. GUST IN MILES PER HOUR (MPH).
4. FOR VALUES THAT LIE BETWEEN TWO CELLS, THE HIGHER (MORE STRINGENT) VALUE HAS TO BE USED. INTERPOLATION BETWEEN CELLS IS NOT ALLOWED.

ENCLOSURE CLASSIFICATION:

1. ENCLOSED BUILDING = ALL 4 WALLS FULLY ENCLOSED WITH DOORS/WINDOWS = USE ENCLOSED BUILDING SPACING CHART.
2. OPEN BUILDING = ALL 4 WALLS FULLY OPEN = USE OPEN BUILDING SPACING CHART.
3. 3FT PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ONLY 3FT ENCLOSED = USE OPEN BUILDING SPACING CHART.
4. PARTIALLY ENCLOSED = BOTH END-WALLS FULLY OPEN, WITH BOTH SIDE-WALLS ENCLOSED MORE THAN 3FT = START WITH OPEN BUILDING SPACING CHART AND THEN REDUCE SPACING BY 6".
5. 3 SIDED ENCLOSED = ALL WALLS ARE ENCLOSED EXCEPT FOR 1 END-WALL = START WITH ENCLOSED BUILDING SPACING + THE OPEN END FRAME MUST HAVE EITHER A GABLED END OR HAVE DOUBLED WELDED LEGS & ROOF.
6. FOR ALL SHEATHING ENCLOSURES NOT LISTED ABOVE, REFER TO SHEET 5 FOR SPACING AND DESIGN REQUIREMENTS.

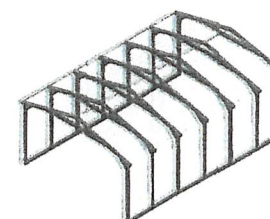
GENERAL NOTES:

1. THE MAX BUILDING LENGTH FOR ENCLOSED BUILDINGS IS 50'-0". THIS CAN BE INCREASED BY ADDING A DOUBLE FRAME AT THE CENTER TO BREAK THE LENGTH OF THE BUILDING.
2. BUILDINGS WITH PARTIALLY ENCLOSED END WALLS NEED TO HAVE SIDE WALL BRACING TO SUPPORT THE PARTIALLY ENCLOSED END WALL. (SEE FIGURE A ON SHEET 5).
3. ALL BUILDINGS WITH AN OPEN END WALL MUST HAVE A 10'-0" TUBE PEAK BRACE.



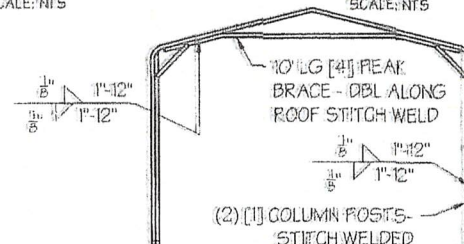
TYP. ENCLOSED BUILDING

SCALE: NTS



TYP. OPEN BUILDING

SCALE: NTS

TYP. OPEN END WALL ON 3
SIDE ENCLOSED BUILDING

SCALE: NTS

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL

6063 Remembrance Place, Tulsa, OK 74123
Tel. 419-292-1988 • Fax. 419-292-0955
www.a-a-engineers.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF NEVADA

PROJECT NO.: 233-20-0003

SHEET TITLE:

SPACING SCHEDULES
& ENCLOSURE NOTES

SHEET NO.: 4 / 11

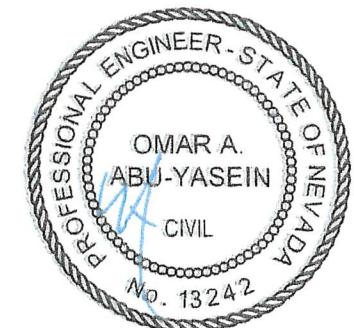
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CHECKED BY: OAA DATE: 2/12/20

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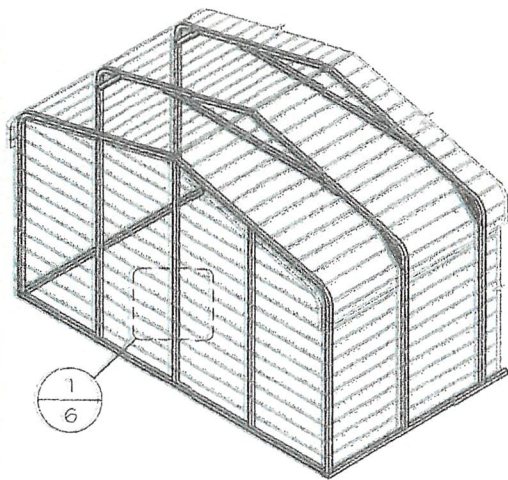
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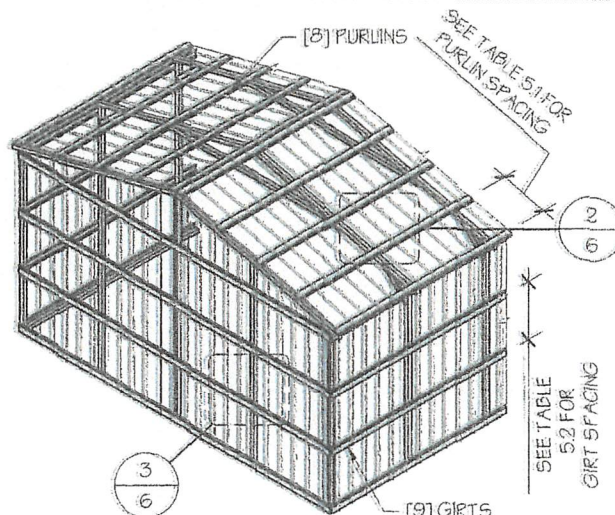
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☐ TYP. HORIZONTAL SHEATHING

SCALE: NTS

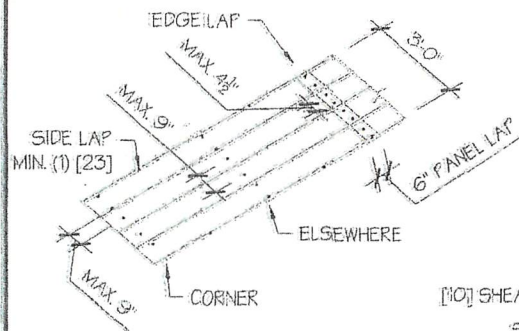


☐ TYP. VERTICAL SHEATHING

SCALE: NTS

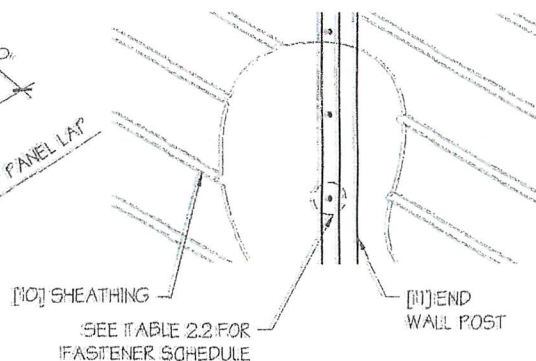
GENERAL SHEATHING NOTES:

1. REGULAR STYLE BUILDINGS CAN ONLY HAVE HORIZONTAL SHEATHING ON ROOF AND WALLS.
2. A-FRAME STYLE BUILDINGS CAN HAVE ANY COMBINATION OF HORIZONTAL OR VERTICAL SHEATHING ON ROOFS AND WALLS.
3. BOTH HORIZONTAL AND VERTICALS ROOF SHEATHING CAN HAVE MAX. 6" OVERHANG.
4. USING VERTICAL SHEATHING MAY ALLOW FOR GREATER FRAME SPACING. SEE NOTE 2 UNDER TABLE 4.
5. VERTICAL SHEATHING RECOMMENDED FOR BUILDINGS 30' OR LONGER



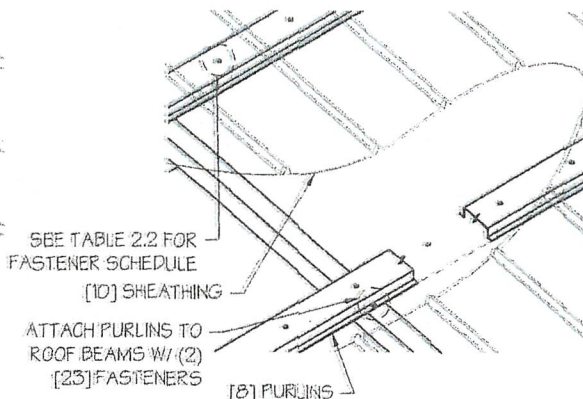
TYP. SHEATHING FASTENER SCHEDULE

SCALE: NTS



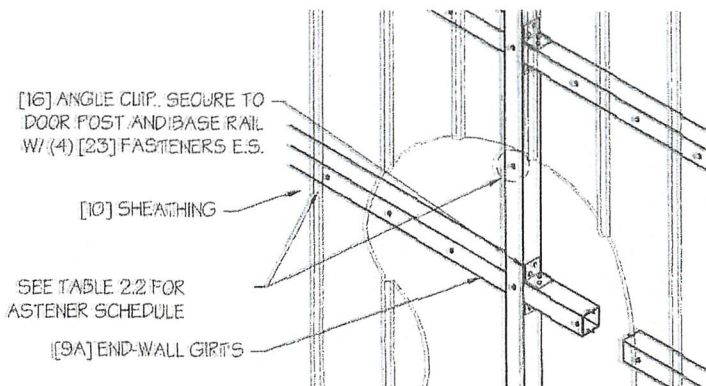
TYP. HORIZONTAL SHEATHING DETAIL

SCALE: NTS



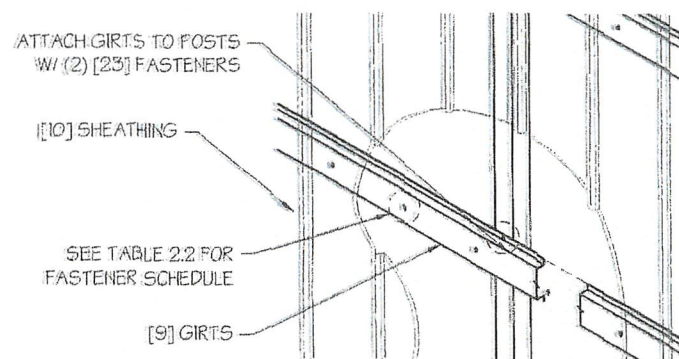
ROOF VERTICAL SHEATHING DETAIL

SCALE: NTS



☐ WALL VERTICAL SHEATHING - TUBE DETAIL

SCALE: NTS



☐ WALL VERTICAL SHEATHING - HAT CHANNEL DETAIL

SCALE: NTS

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL • STRUCTURAL

6063 Rembrandt Place, Toledo, OH 43623
TEL: 419-292-1983 • FAX: 419-292-0935
www.aandengineering.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS

LOCATION: STATE OF NEVADA

PROJECT NO.: 233-20-0003

SHEET TITLE:

SHEATHING OPTIONS
& DETAILS

SHEET NO.: 6 / 11

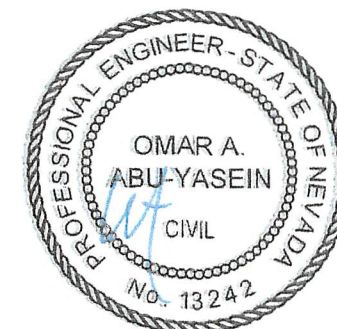
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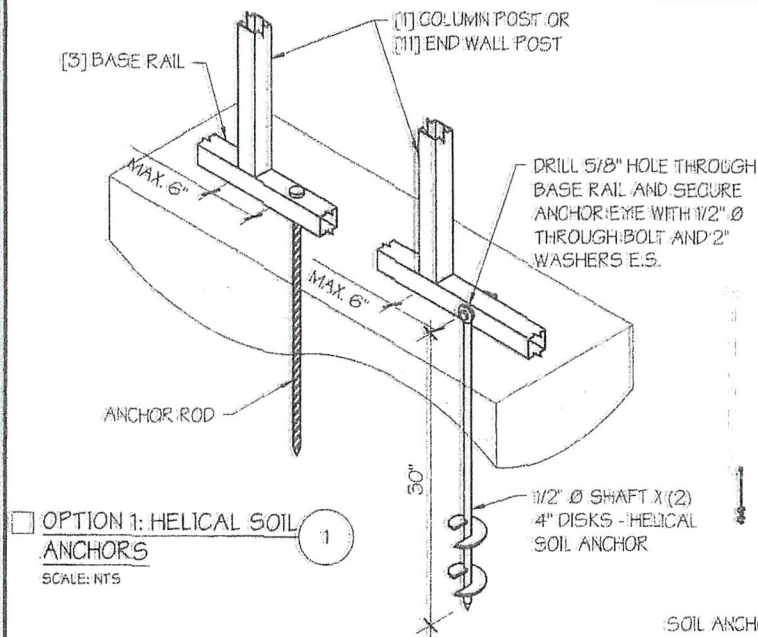
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- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



DATE EXPIRES: 12/31/2020

DATE SIGNED: FEB 12 2020



☐ **OPTION 1: HELICAL SOIL ANCHORS**
SCALE: NTS

SOIL ANCHORS EITHER
SIDE OF OVERHEAD
DOOR OPENINGS

SOIL ANCHORS AT ALL
CORNERS

SOIL FOUNDATION
SCALE: NTS

ANCHOR RODS AT ALL
POSTS NOT SUPPORTED
ON SOIL ANCHORS

SOIL ANCHORS AT
ALTERNATE END
WALL POSTS
SOIL ANCHORS AT
ALTERNATE INTERIOR
COLUMN POSTS

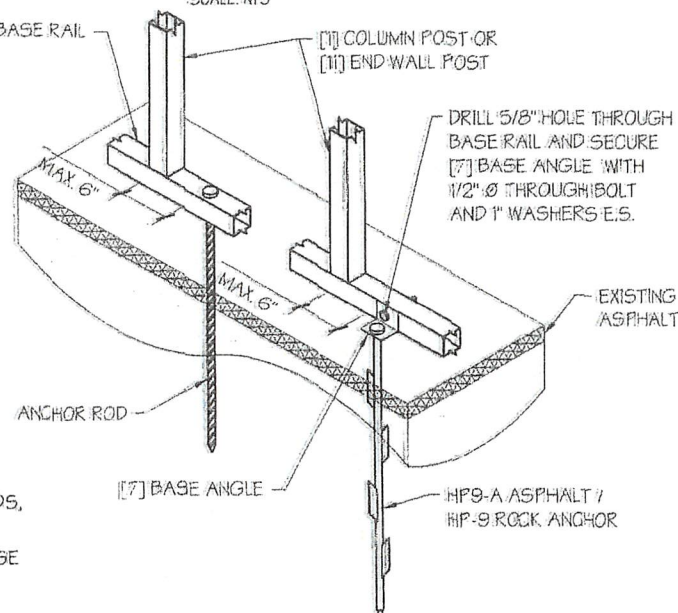
SOIL FOUNDATION NOTES:

1. DESIGNS SHOWN ON THIS SHEET ARE FOR SOIL ANCHOR FOUNDATION.
2. SOIL ANCHORS (HELICAL OR ROCK/ASPHALT) SHALL BE LOCATED AT ALL 4 CORNERS, ON EACH SIDE OF OVERHEAD DOOR OPENINGS, ON POSTS WITH DIAGONAL BRACING IF REQUIRED, AND ON ALTERNATE INTERIOR COLUMN POSTS AND END WALLS POSTS.
3. HELICAL ANCHORS ARE TO BE USED ONLY IF THE DRIVING TORQUE INTO THE GROUND IS 150 FT-LBS OR GREATER. MANUFACTURER IS NOT RESPONSIBLE FOR SOIL QUALITY AT SITE.
4. HELICAL ANCHORS CAN ONLY BE USED FOR CLASS 2, 3 & 4 SOILS (SEE SOIL CLASSIFICATIONS THIS PAGE).
5. ALL POSTS WITH NO ANCHORS ADJACENT SHALL BE ANCHORED TO THE GROUND WITH A 1/2" X 30" LG. ROD. RODS WILL HAVE A PRE-FORMED HEAD AT THE TOP AND ONE COAT OF RUST PROOF MATERIAL.
6. ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.

SOIL CLASSIFICATIONS:

SOIL CLASS	DESCRIPTION
2	SANDY GRAVEL AND GRAVEL, VERY THIN DENSE AND/OR CEMENTED SANDS, COARSE GRAVEL/COBBLES, PRELOADED SILTS, CLAYS AND CORAL.
3	SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL, MEDIUM DENSE COARSE SANDS, SANDY GRAVEL, VERY STIFF SILT AND SANDY CLAYS.
4	LOOSE TO MEDIUM DENSE SANDS, FIRM TO STIFF CLAYS AND SILTS AND ALLUVIAL FILLS.

*FROM HUD "MODEL MANUFACTURED HOME INSTALLATION STANDARDS"



☐ **OPTION 2: ROCK / ASPHALT ANCHORS**
SCALE: NTS

MANUFACTURED BY:



457 N. Broadway,
Joshua, TX 76058
1-866-730-9865

ENGINEERED BY:



A&A ENGINEERING
CIVIL - STRUCTURAL
6063 Renaissance Place, Toledo, OH 43623
Tel: 419-292-4983 • Fax: 419-292-0955
www.aandengineering.com

DRAWING INFORMATION

PROJECT: 20'-0" WIDE BUILDINGS
LOCATION: STATE OF NEVADA
PROJECT NO.: 233-20-0003
SHEET TITLE:

FOUNDATION OPTION 4: SOIL ANCHORS

SHEET NO.: 11-D / 11

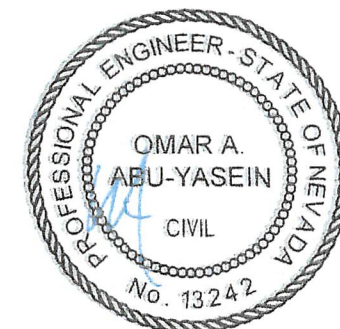
DRAWN BY: AW DATE: 2/12/20

CHECKED BY: OAA DATE: 2/12/20

LEGAL INFORMATION

- ANY DUPLICATION OF THIS DRAWING IN WHOLE OR PART IS STRICTLY FORBIDDEN. ANYONE DOING SO WILL BE PROSECUTED UNDER THE FULL EXTENT OF THE LAW.
- DRAWINGS VALID UP TO 1 YEAR FROM DATE OF ISSUE.

SEAL:



DATE EXPIRES: 12/31/2020

DATE SIGNED: FEB 12 2020

WHITAKER LA

WHITAKER LANE

501
001-331-12

511
001-331-11

521
001-331-10

001-331-09
541

561
001-331-08

581
001-331-07

500
001-331-01

510
001-331-02

520
001-331-03

001-331-04
540

560
001-331-05

580
001-331-06

ANTHONY LANE

501
001-332-02

503
505
507

001-332-03
511

001-332-04
521

541
001-332-05

561
001-332-06

001-332-07
1000

961
001-336-01

510
001-336-02

001-336-03
520

540
001-336-04

RACHEL CT.

501
001-336-09

511
001-336-08

521
001-336-07

541
001-336-06

561
001-336-05

001-353-01

LAURA
MILLS
PARK

855

1081
001-333-01

1061
001-333-02

1041
001-333-03

1021
001-333-04

991
001-333-05

981
001-333-06

1080
001-333-20

1060
001-333-19

1040
001-333-18

1020
001-333-17

980
001-333-16

960
001-333-15

1081
001-335-01

1061
001-335-02

1041
001-335-03

1021
001-335-04

981
001-335-05

1080
001-341-05

1060
001-341-06

1040
001-341-04

1020
001-341-03

1010
001-341-02

980
001-341-01

LEE AVENUE

1081
001-342-01

1061
001-342-02

1041
001-342-03

1021
001-342-04

1011
001-342-05

981
001-342-06

961
001-342-07

SUNSET DRIVE

LIBERTY AVENUE

980
001-332-08

960
001-332-09

940
001-332-10

920
001-332-11

910
001-332-12

961
001-333-07

941
001-333-08

921
001-333-09

911
001-333-10

901
001-333-11

891
001-333-12

881
001-333-13

871
001-333-14

861
001-333-15

851
001-333-16

841
001-333-17

831
001-333-18

821
001-333-19

811
001-333-20

901
001-334-01

891
001-334-02

881
001-334-03

890
001-345-04

880
001-345-05

870
001-345-06

860
001-345-07

871
001-344-03

861
001-344-04

870
001-344-02

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001-344-01

890
001-344-09

880
001-344-08

870
001-344-07

860
001-344-06

BABB

851
001-451-90

825
001-451-91

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001-451-92

840
001-451-89

850
001-451-83

860
001-451-84

870
001-451-85

961 Sunset Dr.
VARIANCE

Parcel Number	Property Owner's Name(s)	Property Owner's Address	City	State	Zip Code
1-333-07	CUMMEROW ELIZABETH L	961 SUNSET DR	Fallon	NV	89406
1-333-02	CLAY, COURTNEY M	1061 SUNSET DR	Fallon	NV	89406
1-333-03	NYGREN SHAD	1221 LOVELOCK HWY	Fallon	NV	89406
1-333-04	SCHANK, D & K & PARSONS L & W	560 W WILLIAMS AVE	Fallon	NV	89406
1-333-05	DRAPER DWIGHT S & BONNIE L	991 SUNSET	Fallon	NV	89406
1-333-06	ALLRED JANET L	981 SUNSET DR	Fallon	NV	89406
1-333-08	KATO KEVIN & LEILANI	941 SUNSET DR	Fallon	NV	89406
1-333-09	FOX CINDY	7530 S FLORENTINE DR	Sparks	NV	89436
1-333-10	CHRISTIENSEN J & J CO TRUSTEES	3655 SHECKLER RD	Fallon	NV	89406
1-333-11	CHRISTIENSEN J & J CO TRUSTEES				
1-333-12	JONES, RICHARD C & NANCY E TRUSTEES	P O BOX 1434	CRYSTAL BA	NV	89402
1-333-13	WARKENTIN, ASPEN A	920 LIBERTY AVE	Fallon	NV	89406
1-333-14	FRY MARY JO & RONALD H	940 LIBERTY AVE	Fallon	NV	89406
1-333-15	MORETTO, JEROME & ROBERSON LAURA	960 LIBERTY AVE	Fallon	NV	89406
1-333-16	BALDWIN, DONNA J	980 LIBERTY AVE	Fallon	NV	89407
1-333-17	COBB FRANCIS & GLENDA D	1020 LIBERTY AVE	Fallon	NV	89406
1-333-18	MAUGA MATUA V & ESTHER L	1040 LIBERTY AVE	Fallon	NV	89406
1-333-19	1060 NV LLC	1951 W WILLIAMS AVE BOX 332	Fallon	NV	89406
1-331-05	JOHNSON WALTER & DENISE	3090 BOYER RD	Fallon	NV	89406
1-331-06	BIRD BRANDON & LISA	5555 VINEWOOD CIR	Fallon	NV	89406
1-332-04	EFFERSON, JEREMY C & MA ANITA G	521 ANTHONY LN	Fallon	NV	89406
1-332-05	HAMILTON BRUCE H & NORTON NANCY	175 TOPEG DR	SEVERNA PA	MD	21146
1-332-06	LOPEZ-MENDOZA, PATRICIO ET AL	561 ANTHONY LN	Fallon	NV	89406
1-332-07	EWING OLIVIA E	P O BOX 1087	Fallon	NV	89407
1-332-08	MC GINNIS JOHN S SR & KERRI ANN	25 LEO DR	Sparks	NV	89436
1-332-09	PERAZZO, BRENT ALAN	960 SUNSET DR	Fallon	NV	89406
1-332-10	YORK, MAXWELL JAMES	940 SUNSET DR	Fallon	NV	89406
1-332-11	PECORINO, NIKKI JEAN	920 SUNSET DR	Fallon	NV	89406
1-332-12	MC COURTNEY, ANTHONY & LATISHA	910 SUNSET DR	Fallon	NV	89406
1-334-01	NORRIS, T & MARTIN C C JR	901 BABB PL	Fallon	NV	89406

961 Sunset Dr.
VARIANCE

Parcel Number	Property Owner's Name(s)	Property Owner's Address	City	State	Zip Code
1-336-03	MARTIN, KRISTINE J	520 RACHEL CT	Fallon	NV	89406
1-336-04	MAYES MC KINLEY & LOURDES L	540 RACHEL CT	Fallon	NV	89406
1-336-05	NEWMAN, DEBRA L	561 RACHEL CT	Fallon	NV	89406
1-336-06	ENGEL, LANCE R & JENNIFER L	541 RACHEL CT	Fallon	NV	89406
1-335-02	HELTON, ELIZABETH P & JAMES K	1061 LIBERTY AVE	Fallon	NV	89406
1-335-03	SPELL, DANIEL	1041 LIBERTY AVE	Fallon	NV	89406
1-335-04	FAGUNDES, RICHARD LEE TRUSTEE	177 CARSON RIVER DR	Fallon	NV	89407
1-335-05	JENSEN SHIRLEY A TRUSTEE	P O BOX 1113	Fallon	NV	89407
1-341-01	WOOSLEY, JOSEPH A & KAREN L	980 LEE AVE	Fallon	NV	89406
1-341-02	FIELD CINDY J & ERNEST E	1900 EMERALD ST	Concord	CA	94518
1-344-01	GANDOLFO, G A & RICCITELLI C M	891 SUNSET DR	Fallon	NV	89406
1-344-10	MONTGOMERY, EILEEN A	PO BOX 1272	Fallon	NV	89407
1-363-01	City of Fallon				

Ken Tedford
MAYOR



October 27, 2020

James D. Richardson
Councilman

Kelly Frost
Councilwoman

Karla Kent
Councilwoman

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the City of Fallon Board of Adjustment will hold a public hearing on **Monday, November 16 at 6:00 p.m.** in the City Council Chambers, 55 West Williams Avenue, Fallon, Nevada in order to consider an application by Elizabeth Cummerow, 961 Sunset Drive (APN #001-333-07), for a variance in an R-1 zone to encroach approximately 18 feet into the 20-foot front setback in order to install a metal carport.

The Board of Adjustment may vary the strict application of Title 21 of the Fallon Municipal Code in appropriate cases and under certain conditions and safeguards in harmony with its general intent and purpose, in accordance with the rules and regulations set forth therein and under the provisions of Chapter 278 of the Nevada Revised Statutes.

In accordance with Section 21.76.020 of the Fallon Municipal Code, there is a 10-day period in which to appeal the Board of Adjustment's decision, in writing, to the City Council. Said appeal shall be filed with the City Clerk's Office.

NOTICE IS HEREBY FURTHER GIVEN that you are invited to attend the public hearing and to be heard regarding the variance application. Prior to the public hearing, written comments may be filed with the City Clerk to be considered by the Board of Adjustment. Copies of the application are available for inspection at the City Clerk's Office, 55 West Williams Avenue, Fallon, Nevada. If you have any questions, please feel free to contact Derek Zimney, City Engineer, at (775) 423-5107 or dzimney@fallonnevada.gov.

Sincerely,

Sean Richardson
City Clerk/Treasurer

DECLARATION OF MAILING

I declare under penalty of perjury under the laws of the State of Nevada that the foregoing is true and correct:

1. That I am a citizen of the United States of America, over the age of twenty-one (21) year; and
2. That on the date below, I mailed, by U.S. Mail, with postage fully prepaid, for 961 Sunset Drive APN #001-333-07, Proposed Board of Adjustment Letter to the following persons:

Cummerow Elizabeth L
961 Sunset Dr
Fallon NV, 89406

Christiansen J & J Co Trustees
3655 Sheckler Rd
Fallon NV, 89406

Clay, Courtney M
1061 Sunset Dr
Fallon NV, 89406

Jones, Richard C & Nancy E Trustees
P O Box 1434
Crystal Bay NV, 89402

Nygren Shad
1221 Lovelock Hwy
Fallon NV, 89406

Warkentin, Aspen A
920 Liberty Ave
Fallon NV, 89406

Schank, D & K & Parsons L & W
560 W Williams Ave
Fallon NV, 89406

Fry Mary Jo & Ronald H
940 Liberty Ave
Fallon NV, 89406

Draper Dwight S & Bonnie L
991 Sunset
Fallon NV, 89406

Moretto, Jerome & Roberson Laura
960 Liberty Ave
Fallon NV, 89406

Allred Janet L
981 Sunset Dr
Fallon NV, 89406

Baldwin, Donna J
980 Liberty Ave
Fallon NV, 89407

Kato Kevin & Leilani
941 Sunset Dr
Fallon NV, 89406

Cobb Francis & Glenda D
1020 Liberty Ave
Fallon NV, 89406

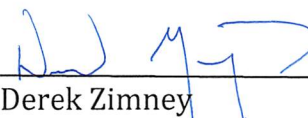
Fox Cindy
7530 S Florentine Dr
Sparks NV, 89436

Mauga Matua V & Esther L
1040 Liberty Ave
Fallon NV, 89406

1	1060 NV, Llc	Mc Courtney, Anthony & Latisha
2	1951 W Williams Ave Box 332	910 Sunset Dr
	Fallon NV, 89406	Fallon NV, 89406
3	Johnson Walter & Denise	
4	3090 Boyer Rd	Norris, T & Martin C C Jr
	Fallon NV, 89406	901 Babb Pl
5		Fallon NV, 89406
6	Bird Brandon & Lisa	
7	5555 Vinewood Cir	Martin, Kristine J
	Fallon NV, 89406	520 Rachel Ct
		Fallon NV, 89406
8	Efferson, Jeremy C & Ma Anita G	
9	521 Anthony Ln	Mayes Mc Kinley & Lourdes L
	Fallon NV, 89406	540 Rachel Ct
		Fallon NV, 89406
10	Hamilton Bruce H & Norton Nancy	
11	175 Topeg Dr	Newman, Debra L
12	Severna Park MD, 21146	561 Rachel Ct
		Fallon NV, 89406
13	Lopez-Mendoza, Patricio Et Al	
14	561 Anthony Ln	Engel, Lance R & Jennifer L
	Fallon NV, 89406	541 Rachel Ct
		Fallon NV, 89406
15	Ewing Olivia E	
16	P O Box 1087	Helton, Elizabeth P & James K
	Fallon NV, 89407	1061 Liberty Ave
17		Fallon NV, 89406
18	Mc Ginnis John S Sr & Kerri Ann	
19	25 Leo Dr	Spell, Daniel
	Sparks NV, 89436	1041 Liberty Ave
		Fallon NV, 89406
20	Perazzo, Brent Alan	
21	960 Sunset Dr	Fagundes, Richard Lee Trustee
	Fallon NV, 89406	177 Carson River Dr
		Fallon NV, 89406
22	York, Maxwell James	
23	940 Sunset Dr	Jensen Shirley A Trustee
24	Fallon NV, 89406	P O Box 1113
		Fallon NV, 89407
25	Pecorino, Nikki Jean	
26	920 Sunset Dr	Woosley, Joseph A & Karen L
	Fallon NV, 89406	980 Lee Ave
27		Fallon NV, 89406
28		

1 Field Cindy J & Ernest E
1900 Emerald St
2 Concord CA, 94518
3
4 Gandolfo, G A & Riccitelli C M
891 Sunset Dr
Fallon NV, 89406
5
6 Montgomery, Eileen A
PO Box 1272
7 Fallon NV, 89407
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DATED this 3rd day of November,
2020.


Derek Zimney