

**AGENDA
CITY OF FALLON - BOARD OF ADJUSTMENT
55 West Williams Avenue
Fallon, Nevada
February 9, 2021 – 6:00 p.m.**

The City of Fallon Board of Adjustment will meet on February 9, 2021 at 6:00 p.m. in the City Council Chambers, City Hall, 55 West Williams Avenue, Fallon, Nevada.

Items on the agenda may be taken out of order. The Board of Adjustment may combine two or more agenda items for consideration. The Board of Adjustment may remove an item from the agenda or delay discussion relating to an item on the agenda at any time. Unless otherwise allowed by the Board of Adjustment, public comments by an individual will be limited to three minutes.

1. Certification of compliance with posting requirements.
2. Public Comments: General in nature, not relative to any agenda items. No action may be taken on a matter raised under this item until the matter itself has been specifically included on an agenda as an item upon which action may be taken. (For discussion only)
3. Consideration and possible approval of Board of Adjustment meeting minutes for December 7, 2020.
4. Consideration and possible approval of an application by Kari Ernst, 946 Aspen Circle (APN #001-801-26), for a variance in an R-1 zone to encroach approximately 11 feet into the 20-foot rear setback in order to install a patio cover. (For possible action)
5. Consideration and possible approval of an application by Allen Barbee, 728 Megan Way (APN #001-793-48), for a variance in an R-1 zone to encroach approximately 7 feet into the 20-foot rear setback in order to install a patio cover. (For possible action).
6. Public Comments. (For discussion only)

Pursuant to Governor Sisolak's Declaration of Emergency Directive 006 entered on March 22, 2020, and extended by Emergency Directive 016 entered on April 29, 2020, by Emergency Directive 018 entered on May 7, 2020, by Emergency Directive 021 entered on May 28, 2020, by Emergency Directive 026 entered on June 29, 2020 and by Emergency Directive 029 entered on July 31, 2020, this agenda has been posted on or before 9:00 a.m. on February 5, 2021 at City Hall, to the City's website (<https://fallonnevada.gov>) and to the State of Nevada public notice website (<https://notice.nv.gov/>). Members of the public may request the supporting material for this meeting by contacting Elsie M. Lee, Deputy City Clerk, at (775) 423-5104 or

elee@fallonnevada.gov. The supporting material for this meeting is also available to the public on the City's website (<https://fallonnevada.gov>) and the State of Nevada public notice website (<https://notice.nv.gov/>).


Elsie M. Lee

NOTICE TO PERSONS WITH DISABILITIES: Reasonable effort will be made to assist and accommodate physically handicapped persons desiring to attend the meeting. Please call the City Clerk's Office at 423-5104 in advance so that arrangements may be conveniently made.

City of Fallon Board of Adjustment Meeting

February 9, 2021

Item 3

FALLON

Incorporated 1908

Consideration and possible approval of Board of Adjustment meeting minutes for December 7, 2020.

**MINUTES
CITY OF FALLON
BOARD OF ADJUSTMENT
55 West Williams Avenue
Fallon, Nevada
December 7, 2020**

The Board of Adjustments met in a scheduled meeting on the above date at 6:00 p.m. in the Council Chambers.

Present:

Jack Beach, Chairman
Chris Webb, Board Member
Kim Barrenchea, Board Member
Sheila Scholz, Board Member
Dusty Casey, Board Member
Leonard E. Mackedon, Deputy City Attorney
Derek Zimney, City Engineer

The meeting was called to order by Chairman Beach at 6:00 p.m., following which, it was noted that the agenda was posted in compliance with Governor Sisolak's Emergency Directives, the agenda and the supporting materials were posted at City Hall, on the City's website, and the State of Nevada's public notice website on or before 9:00 a.m. on December 3, 2020.

Public Comments

Chairman Beach inquired if there were any public comments.
No public comments were noted.

The minutes for November 16, 2020 were reviewed. Motion was made by Board Member Webb to approve the minutes for November 16, 2020 as submitted; seconded by Board Member Barrenchea and unanimously approved.

Chairman Beach advised as to the procedure for the meeting. He advised the applicant would be called on to explain the purpose of their request for a variance. The Board would then ask any questions they may have, comments would be called from the public and after all comments were heard, the meeting would be closed to further input and the Board would then discuss the matter.

Chairman Beach advised that the Board has 30 days in which to make their decision, followed by 10 days to appeal, if desired by the applicant. In total, once a decision has been reached and the appeal period has expired, the applicant has 180 days in which to enact the variance.

The following agenda item was presented and discussed:

Consideration and possible approval of an application by Elizabeth Cummerow, 961 Sunset Drive (APN #001-333-07), for a variance in an R-1 zone to encroach approximately 18 feet into the 20-foot front setback in order to install a metal carport

Chairman Beach noted that this request is identical to the request considered by the Board of Adjustment on November 16, 2020, which was tabled at that time. He asked City Engineer Zimney to explain the request.

City Engineer Zimney explained that he performed a site visit after the November 16, 2020 Board of Adjustment meeting and met with the applicant. He noted that the carport would be installed in a portion of the side yard, but it would not encroach on the side setback. The front of the carport would encroach 18 feet into the 20-foot front setback and that is the requested variance tonight.

Board Member Webb asked if notices were resent to the neighbors.

City Engineer Zimney replied affirmatively.

Board Member Webb asked if any correspondence related to this variance request was received.

City Engineer Zimney stated that he did not receive any correspondence or calls.

Chairman Beach inquired if there were any public comments.

No public comments were noted.

Board Member Casey motioned to approve an application by Elizabeth Cummerow, 961 Sunset Drive (APN #001-333-07), for a variance in an R-1 zone to encroach approximately 18 feet into the 20-foot front setbacks in order to install a metal carport; seconded by Board Member Barrenchea and approved.

Chairman Beach apologized to the applicant for the inconvenience of them having to return for a second meeting.

Public Comments

Chairman Beach inquired if there were any public comments.

No public comments were noted.

As there was no further business or discussion, the meeting was adjourned at 6:06 p.m.

Respectfully Submitted,

Approved,

Valerie Swirczek
Recording Secretary

Jack Beach
Chairman

City of Fallon Board of Adjustment Meeting

February 9, 2021

Item 4

Consideration and possible approval of an application by Kari Ernst, 946 Aspen Circle (APN #001-801-26), for a variance in an R-1 zone to encroach approximately 11 feet into the 20-foot rear setback in order to install a patio cover. (For possible action)

City of Fallon

VARIANCE APPLICATION FOR: _____ Business or ☒ Home Improvement

Applicant: Thaine & Kari Ernst Please check one

Address: 946 Aspen Circle Fallon, NV

Telephone Number: 775-686-0136

☒ Owner ☐ In Escrow ☐ Leasehold

Purchasers in escrow must file proof of title with Variance Board before granted variances are effective.

Legal Description of Property Involved: Lot _____ Blk _____ Subdivision _____
Street and Number 946 Aspen Cir. Fallon, NV 89406

(Attach sheet for Metes & Bounds Description)

Variance Requested: Add a patio cover to backyard to encroach 11' on 20' setback

Ordinance Provisions: _____ Zoning _____

Deed Restrictions _____

Former Restrictions _____

Expiration Date: _____

Applicants must present evidence of ability and intent to proceed with actual construction within six months of the above filing date.

It is not possible for me to use the above described property in the way it is zoned because: We want to add a patio cover to our backyard. We will need to encroach 11' on the 20' set back.

My inability to use the above described property in the way I desire causes an undue hardship on me because: (Financial hardship is not considered valid). I'd like the added privacy of the pergola as well as the usability of the yard.

The above described property is different from other properties in the same area zoned the same classification because: _____

Use of the above-described property in the manner proposed by this application will not be detrimental to surrounding properties because: This landscape design does not impact any of the neighbors yards.

PLOT PLANS MUST ACCOMPANY THIS APPLICATION

I, Kari Ernst owner in fee of the above described property state that this application for a variance has been made with my full knowledge and consent and the facts stated above are true to the best of my knowledge and belief.

Owner: Kari Ernst

Address: 946 Aspen Cir.

Phone # 775-686-0136

Signature: Kari Ernst

All the above facts as stated herein are correct to my knowledge and belief.

Applicant: Kari Ernst

Address: 946 Aspen Cir.

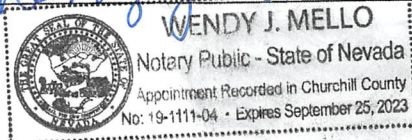
Phone # 775-686-0136

Signature: Kari Ernst

State of Nevada
{County of Churchill
Signed and sworn to before me on Jan 11, 2021
by Wendy J. Mello



State of Nevada
{County of Churchill
Signed and sworn to before me on Jan 11, 2021
by Wendy J. Mello



City of Fallon
55 W Williams Ave
Fallon NV 89406 775-423-5104

Receipt No: 2.455747 Jan 11, 2021

Thaine & Kari Ernst

Previous Balance:	.00
Miscellaneous Revenues	
Variance	50.00

Total:	50.00
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Credit Card	50.00
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Payor:	
Thaine & Kari Ernst	
Total Applied:	50.00

Change Tendered:	.00
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01/11/2021 2:17 PM



Building Department
 55 West Williams Avenue
 Fallon, Nevada 89406
 Phone: (775) 423-9862 / 423-5107
 Fax: (775) 423-8874
buildingpermits@fallonnevada.gov

Permit # _____

PERMIT APPLICATION

Two (2) sets of plans including one (1) wet-stamped are required.

The minimum size for plans submittal is 11" x 17" and maximum is 24" x 36".

Only complete applications will be accepted and processed. Please enter "N/A" in sections that do not apply.

Job Information			
Tenant Name		Address 946 Aspen Circle	
Owner Name Thaine & Kari Ernst		Owner Address (if different)	
Owner Phone (775) 686-0136		Valuation \$500-	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial
Zoning R-1	Setbacks Front: 20' Side: 5' Side: 10' Rear: 20'		FEMA Flood Zone X
Contractor Information			
Name Owner builder		Address	
NV Contractors License No.		Fallon Business License No.	
Contact Person		Email	
Office Phone	Fax	Mobile	
Architect & Engineer Information (If Applicable)			
Architect		Engineer	
Address		Address	
Office Phone	Office Fax	Office Phone	Office Fax
Email	Mobile	Email	Mobile
Contact Person (responsible for plan revisions)		Contact Person (responsible for plan revisions)	
Description of Work			
HVAC Installations <input type="checkbox"/> Change-Out <input type="checkbox"/> New <input type="checkbox"/> Electric unit to gas <input type="checkbox"/> A/C, H/P (___ tons)	Water Heater <input type="checkbox"/> Gas <input type="checkbox"/> Electric <input type="checkbox"/> Gas to Electric <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate	Minor Electrical & Plumbing <input type="checkbox"/> Electrical service change _____ (#) of Amps <input type="checkbox"/> New electric circuits <input type="checkbox"/> Water service replacement <input type="checkbox"/> Sewer service replacement <input type="checkbox"/> Gas line add/replace ___ ft	Re-Roof & Siding <input type="checkbox"/> Tear off <input type="checkbox"/> Recover (MAX 2 layers) <input type="checkbox"/> Composition _____ yr <input type="checkbox"/> Stucco <input type="checkbox"/> Siding <input type="checkbox"/> Indicate Other _____
Complete description of work if other than noted above, please be specific and include everything that is being modified.			
11' x 17' Pergola			

The following approvals shall be initiated by the applicant prior to acceptance of the application:

City of Fallon Variance	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
State Health Department (if building involves food & drink handling)	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
State and Local Fire Marshal	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
NDOT (if highway access required to lot)	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
Geotechnical/Engineering Report	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A

I understand that this application does not guarantee permit issuance nor allow work to commence. I understand and agree that the City of Fallon does not enforce C.C.&R.'s and has no obligation to explain every requirement and ordinance to me prior to my project. I certify that the information provided is true and correct to the best of my knowledge and I am authorized to submit this application for review. I agree to comply with all ordinances and laws regulating work in the City of Fallon. I certify that the work to be done under this permit is for the purpose of improving the property stated; that I am familiar with the requirements of the adopted building codes of the City of Fallon, as affecting this work and that I will call for required inspections. Construction must be performed by a contractor licensed in the State of Nevada for the work performed except for Home Owner/Builders. I further acknowledge that the Department of Building Inspection has made no inquiry as to the status of legal title to this land beyond my representations and hereby agree to hold the City of Fallon and the Department of Building Inspection harmless in the event any person claiming paramount title should make a claim based upon this permit against the City of Fallon and the Department of Building Inspection. I agree to save, indemnify and keep harmless the City of Fallon and its officers, employees and agents against all liabilities, judgments, costs and expenses which accrue against the City in consequence of the granting of this authorization. I further certify that I am the owner or the owner's authorized agent:

Thaine Ernst & Kari Ernst

Print Applicant Name

Thaine Ernst / Kari Ernst
Applicant Signature

11/16/2020

Date

THIS AUTHORIZATION SHALL BECOME VOID IF NOT ACTED UPON WITHIN SIXTY DAYS OF ISSUANCE, OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED, AND MAY BE VOIDED IF INCORRECT INFORMATION OR ADDITIONAL INFORMATION IS DISCOVERED THAT MAY JUSTIFY THE SAME.

TO BE COMPLETED BY BUILDING DEPARTMENT

Accepted By

Date

Elevation Certificate

☐ Required

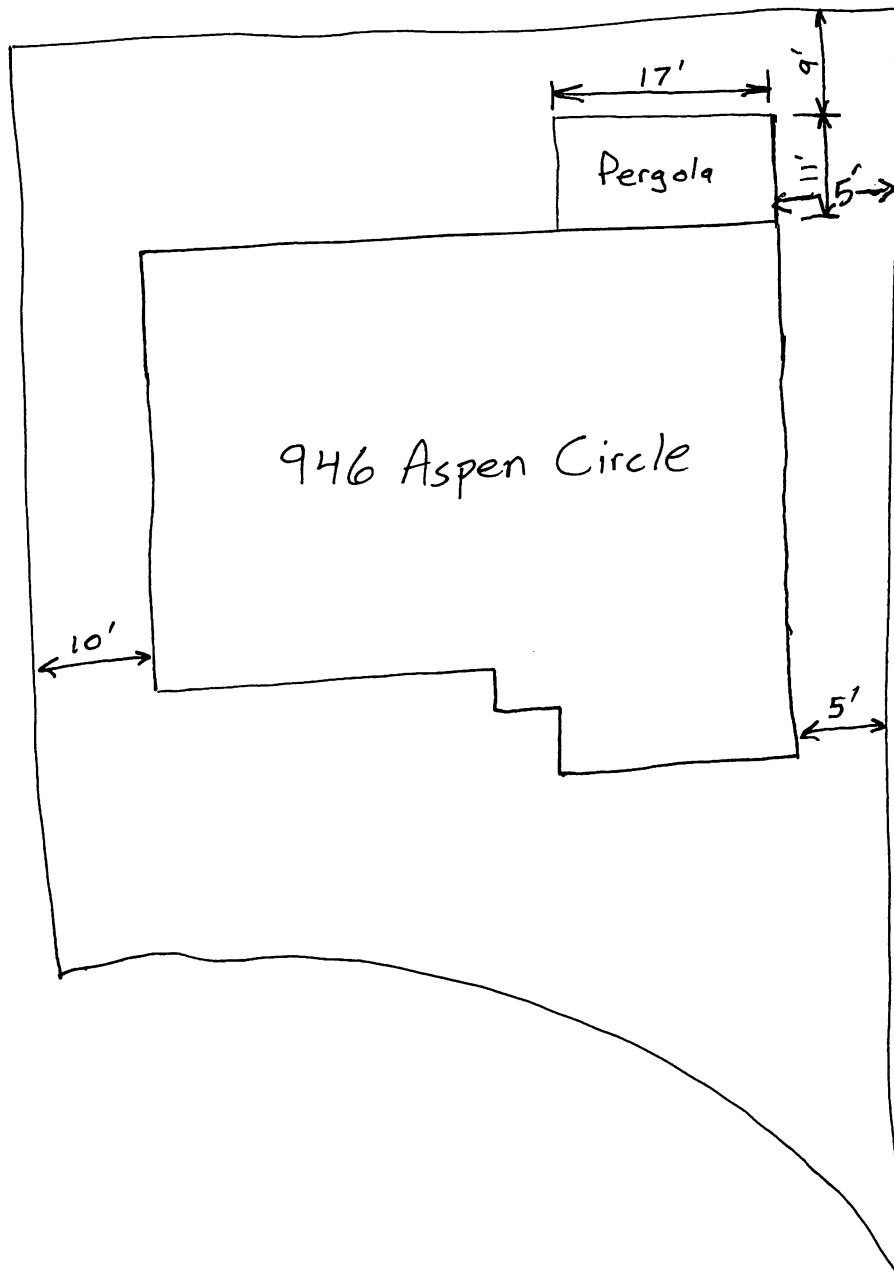
☐ N/A

Permit Number

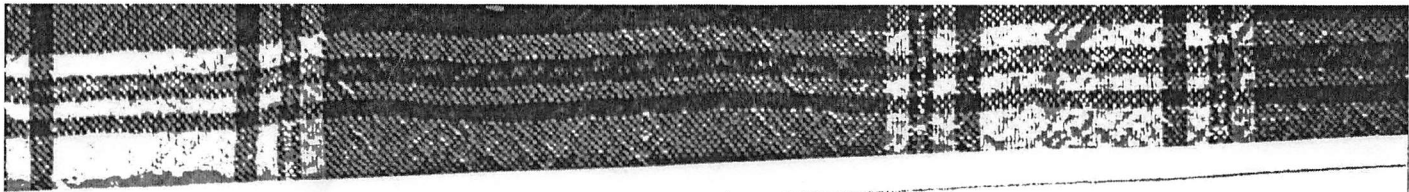
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Permit Cost

Notes:

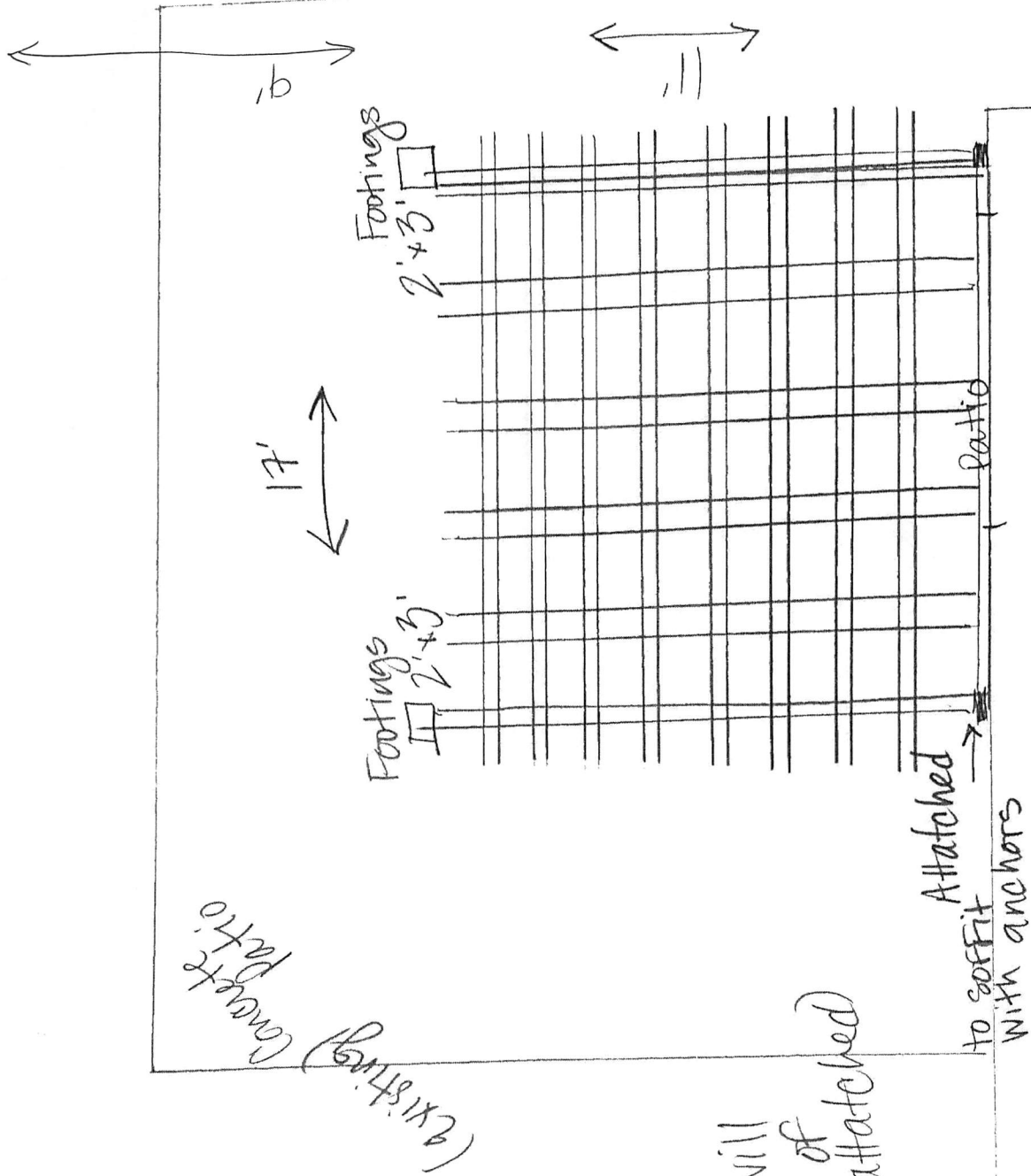


Aspen Circle



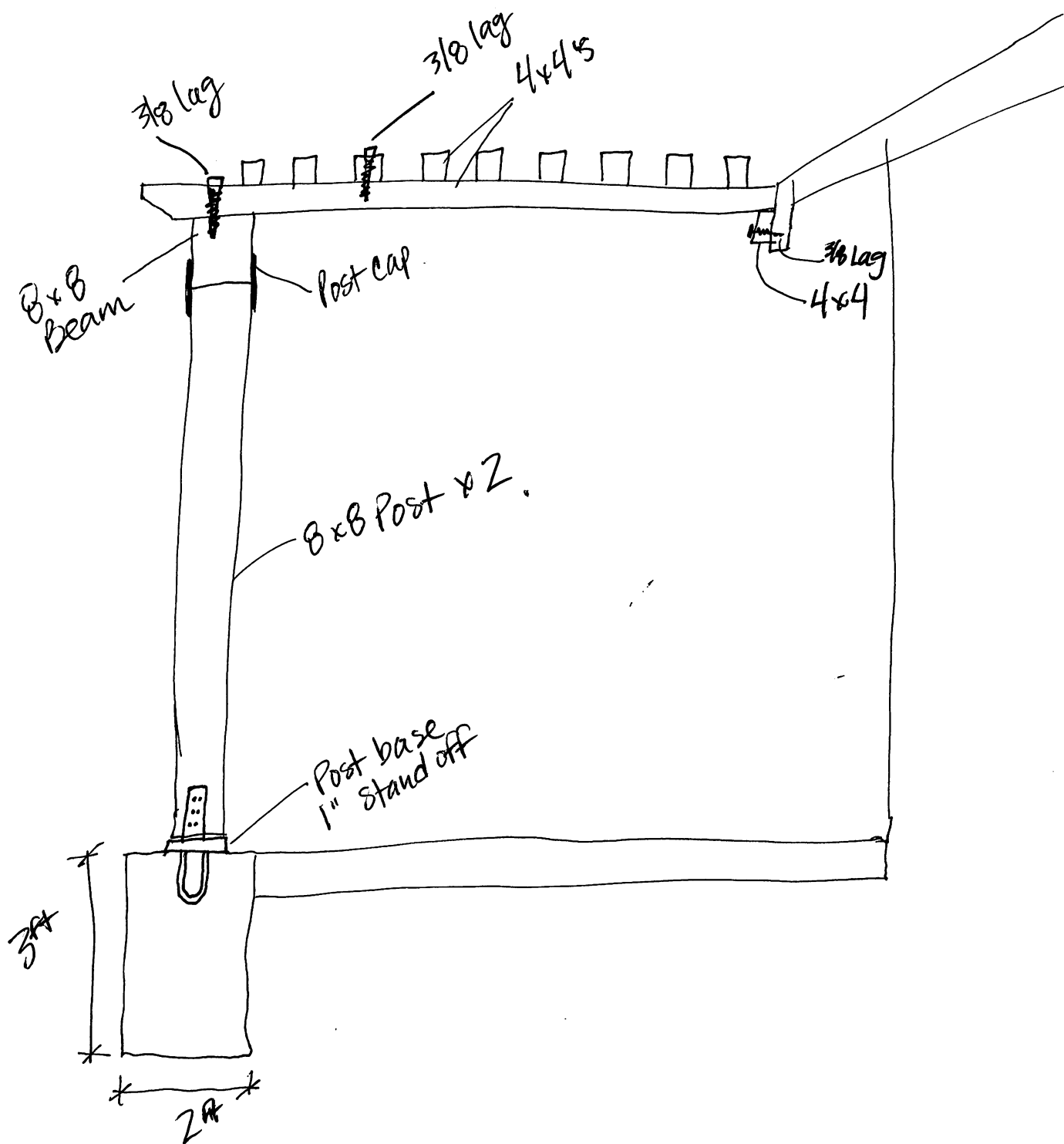
North Fence

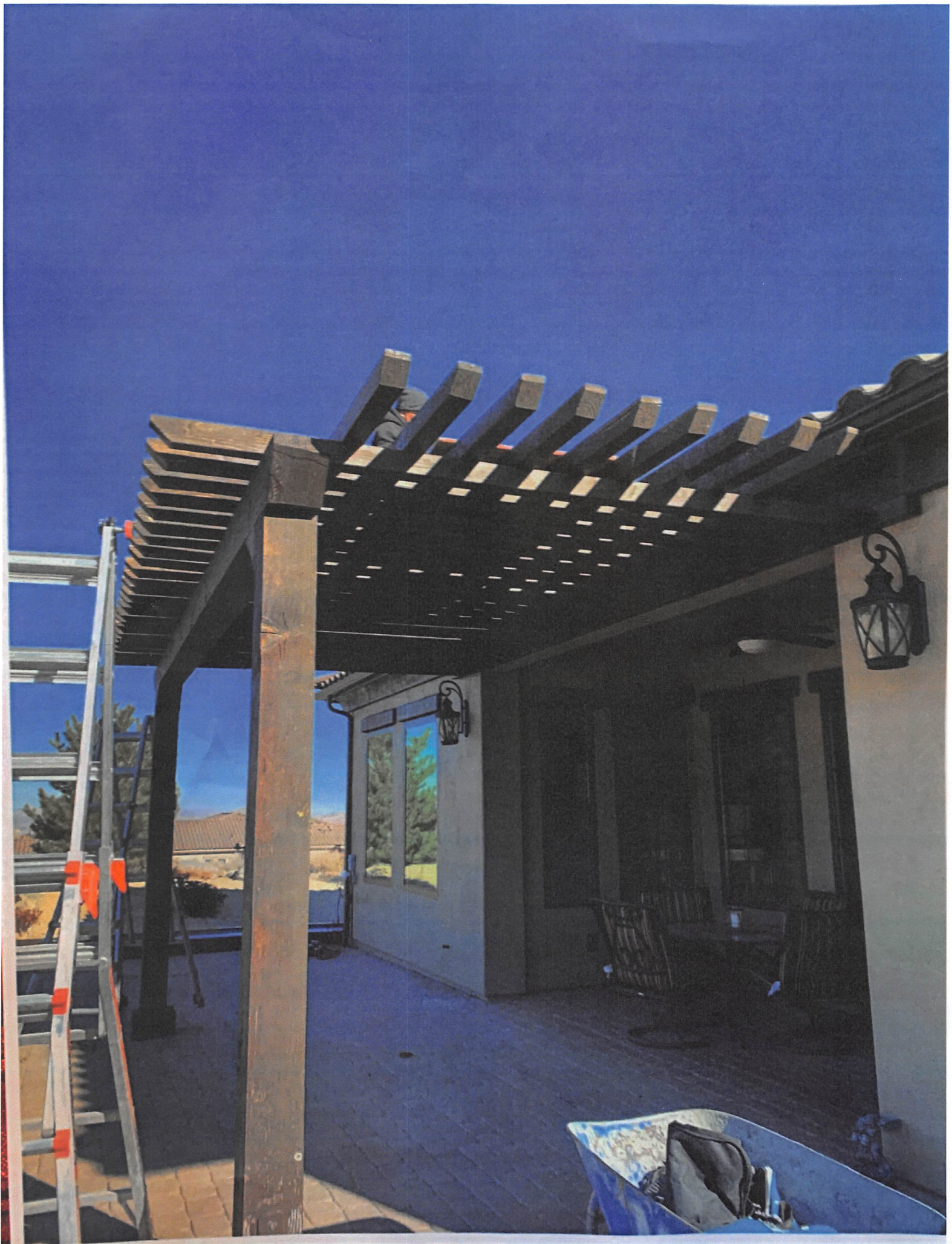
East Fence



regula
(see additional
picture which will
be an example of
how it will be attached)

946 Aspen Circle
Fruita





Ken Tedford
MAYOR



James D. Richardson
Councilman

Kelly Frost
Councilwoman

Karla Kent
Councilwoman

January 15, 2021

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the City of Fallon Board of Adjustment will hold a public hearing on **Tuesday, February 9, 2021 at 6:00 p.m.** in the City Council Chambers, 55 West Williams Avenue, Fallon, Nevada in order to consider an application by Kari Ernst, 946 Aspen Circle (APN #001-801-26), for a variance in an R-1 zone to encroach approximately 11 feet into the 20-foot rear setback in order to install a patio cover.

The Board of Adjustment may vary the strict application of Title 21 of the Fallon Municipal Code in appropriate cases and under certain conditions and safeguards in harmony with its general intent and purpose, in accordance with the rules and regulations set forth therein and under the provisions of Chapter 278 of the Nevada Revised Statutes.

In accordance with Section 21.76.020 of the Fallon Municipal Code, there is a 10-day period in which to appeal the Board of Adjustment's decision, in writing, to the City Council. Said appeal shall be filed with the City Clerk's Office.

NOTICE IS HEREBY FURTHER GIVEN that you are invited to attend the public hearing and to be heard regarding the variance application. Prior to the public hearing, written comments may be filed with the City Clerk to be considered by the Board of Adjustment. Copies of the application are available for inspection at the City Clerk's Office, 55 West Williams Avenue, Fallon, Nevada. If you have any questions, please feel free to contact Derek Zimney, City Engineer, at (775) 423-5107 or dzimney@fallonnevada.gov.

Sincerely,

Sean Richardson
City Clerk/Treasurer

DECLARATION OF MAILING

I declare under penalty of perjury under the laws of the State of Nevada that the foregoing is true and correct:

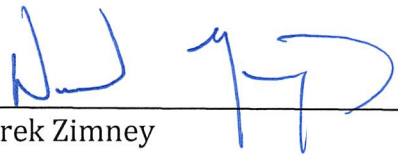
1. That I am a citizen of the United States of America, over the age of twenty-one (21) year; and
2. That on the date below, I mailed, by U.S. Mail, with postage fully prepaid, for 946 Aspen Circle APN #001-801-26, Proposed Board of Adjustment Letter to the following persons:

PAUL & MONA TIMMONS	615 TIMBER WAY	FALLON, NV 89406
MADELEINE MC MULLEN	921 ASPEN CIRCLE	FALLON, NV 89406
PATRICIA MANHA	939 ASPEN CIR	FALLON, NV 89406
J L & J L TRUSTEES CHRISTIANSEN	3655 SHECKLER RD	FALLON, NV 89406
MARMARI KID & JOANN MORALES	990 ASPEN CIR	FALLON, NV 89406
MARIA FASSETT	966 ASPEN CIR	FALLON, NV 89406
THAINE & KARI ERNST	946 ASPEN CIRCLE	FALLON, NV 89406
MARGARET PRIVETT TRUSTEE	928 ASPEN CIR	FALLON, NV 89406
BOBBY & NORMA GIBSON TRUSTEES	2000 WESTFALL RD	LOVELOCK, NV 89419
WILLIAM & ERIN DE GROAT	673 TIMBER WAY	FALLON, NV 89406
EUGENE & EVELYN WHITE	929 CONIFER DR	FALLON, NV 89406
RONALD G & PAULA MARRUJO	947 CONIFER DR	FALLON, NV 89406
MICHAEL & SHANNON DAVIS	724 TIMBER WAY	FALLON, NV 89406
ANTHONY L TITUS	700 TIMBER WAY	FALLON, NV 89406

1	RONALD & SANDRA WHITAKER	680 TIMBER WAY	FALLON, NV, 89406
2	JAMES & CAROL BERGER	660 TIMBER WAY	FALLON, NV 89406
3	TARYN & ANDREW LENON	644 TIMBER WAY	FALLON, NV 89406
4	BENICSIO & SOLEDAD LEYNES	626 TIMBER WAY	FALLON, NV 89406
5	JOHN & GEORGINE SCHEUERMANN	608 TIMBER WAY	FALLON, NV 89406
6	DARCIE SPERO	PO BOX 1321	FALLON, NV 89407
7	ARORA MANPREET & KAUR JAGJEET	962 CONIFER DR	FALLON, NV 89406
8	ALTA BAIRD	940 CONIFER DR	FALLON, NV 89406
9	KANJI & KUSUMBEN PATEL	922 CONIFER DR	FALLON, NV 89406
10	FRANK & DOROTHY MEDEIROS	904 CONIFER DR	FALLON, NV 89406
11	ANN K JOANETTE	PO BOX 5772	FALLON, NV 89407
12	BRADLEY & KIMBERLI KUFALK	925 MAPLE WAY	FALLON, NV 89406
13	CHARLES W JR KNITTLE	951 MAPLE WAY	FALLON, NV 89406
14	WILMA LIGHT & ARVIST DARRELL	993 MAPLE WAY	FALLON, NV 89406
15	VICKI L BARTEL	1022 CONIFER DR	FALLON, NV 89406
16	FALLON NW LAND GROUP LLC	940 EMMETT AVE STE #200	BELMONT, CA 94002
17	KEITH & MICHELE SIEBERT & WINONA ALEGRE	1043 CONIFER DR	FALLON, NV 89406
18	ED VENTURACCI & SONS	441 VENTURACCI LN	FALLON, NV 89406

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DATED this 15th day of January, 2021.


Derek Zimney

TIMBER WAY

CONFER DR

FER DR.

ASPEN CR.

RACK CT.

KEDDIE STREET

597	001-027-46
583	001-027-45
569	001-027-44
555	001-027-43
543	001-027-42
539	001-027-41

001-801-97

City of Fallon Board of Adjustment Meeting

February 9, 2021

Item 5

Incorporated 1908

Consideration and possible approval of an application by Allen Barbee, 728 Megan Way (APN #001-793-48), for a variance in an R-1 zone to encroach approximately 7 feet into the 20-foot rear setback in order to install a patio cover. (For possible action).

#50 Prid
1/25/2021
-DZ

City of Fallon

VARIANCE APPLICATION FOR: _____ Business or A Home Improvement
Please check one

Applicant: ALLEN C BARBEE
Address: 728 MEGAN WAY FALLON NV 89406
Telephone Number: 818-390-0596

X Owner _____ In Escrow _____ Leasehold _____
Purchasers in escrow must file proof of title with Variance Board before granted variances are effective.

Legal Description of Property Involved: Lot _____, Blk _____ Subdivision _____
Street and Number _____

(Attach sheet for Metes & Bounds Description)
Variance Requested: 76 ENCROACH 7ft into the 20ft setback in backyard for patio cover

Ordinance Provisions: _____ Zoning _____
Deed Restrictions _____

Former Restrictions _____ Expiration Date: _____

Applicants must present evidence of ability and intent to proceed with actual construction within six months of the above filing date.

It is not possible for me to use the above described property in the way it is zoned because: HOUSE IS AT 20FT SETBACK AND NEED A SMALL PATIO COVER IN BACK YARD.
COVER IS A 7' X 23' ALUMINUM INSULATED COVER.

My inability to use the above described property in the way I desire causes an undue hardship on me because: (Financial hardship is not considered valid). DOES NOT PROVIDE PRIVACY & SHADE OUTDOORS.

The above described property is different from other properties in the same area zoned the same classification because: HOMES ACROSS STREET & SIDE STREET HAVE MORE THAN THE 20' VARIANCES IN BACKYARD TO ACCOMMODATE PATIOS & COVERS.

Use of the above-described property in the manner proposed by this application will not be detrimental to surrounding properties because: ALMOST ALL PROPERTIES IMMEDIATELY AROUND ME ARE AT THE 20' SETBACK AND A COVER WILL NOT INTERFERE WITH ABILITY OF NEIGHBOURS TO SEE THE SKY OR MOUNTAINS SURROUNDING THE VALLEY.

PLOT PLANS MUST ACCOMPANY THIS APPLICATION

I, ALLEN C BARBEE owner in fee of the above described property state that this application for a variance has been made with my full knowledge and consent and the facts stated above are true to the best of my knowledge and belief.

Owner: ALLEN C BARBEE
Address: 728 MEGAN WAY FALLON NV 89406
Phone #: 818-390-0596
Signature: Allen C Barbree

All the above facts as stated herein are correct to my knowledge and belief.

Applicant: _____
Address: _____
Phone #: _____
Signature: _____

{ Nevada
{ County of Churchill
Signed and sworn to before me on February 2, 2021.
by Wendy J Mello



{ Nevada
{ County of _____
Signed and sworn to before me on _____
by _____
{
{
{

City of Fallon
55 W Williams Ave
Fallon NV 89406 775-423-5104
Receipt No: 2.456046 Jan 25, 2021

Allen C Barbee

Previous Balance:	.00
Miscellaneous Revenues	
Miscellaneous - variance	50.00
Total:	50.00
Cash	60.00
Payor:	
Allen C Barbee	
Total Applied:	50.00
Change Tendered:	10.00

Duplicate Copy
01/25/2021 1:35 PM



Building Department
 55 West Williams Avenue
 Fallon, Nevada 89406
 Phone: (775) 423-9862 / 423-5107
 Fax: (775) 423-8874
buildingpermits@fallonnevada.gov

Permit # _____

PERMIT APPLICATION

Two (2) sets of plans including one (1) wet-stamped are required.

The minimum size for plans submittal is 11" x 17" and maximum is 24" x 36".

Only complete applications will be accepted and processed. Please enter "N/A" in sections that do not apply.

Job Information			
Tenant Name <i>ALLEN C BARBEE</i>		Address <i>728 MEGAN WAY FALLON NV 89406</i>	
Owner Name <i>SAME</i>		Owner Address (if different)	
Owner Phone <i>418-390-0596</i>		Valuation <i>8,900</i>	<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial
Zoning	Setbacks Front: _____ Side: _____ Side: _____ Rear: _____	FEMA Flood Zone	
Contractor Information			
Name <i>QUALITY FIRST HOME IMPROVEMENT</i>		Address	
NV Contractors License No.		Fallon Business License No.	
Contact Person		Email	
Office Phone		Fax	Mobile
Architect & Engineer Information (If Applicable)			
Architect		Engineer	
Address		Address	
Office Phone	Office Fax	Office Phone	Office Fax
Email	Mobile	Email	Mobile
Contact Person (responsible for plan revisions)		Contact Person (responsible for plan revisions)	
Description of Work			
HVAC Installations <input type="checkbox"/> Change-Out <input type="checkbox"/> New <input type="checkbox"/> Electric unit to gas <input type="checkbox"/> A/C, H/P (____ tons)	Water Heater <input type="checkbox"/> Gas <input type="checkbox"/> Electric <input type="checkbox"/> Gas to Electric <input type="checkbox"/> Electric to Gas <input type="checkbox"/> Relocate	Minor Electrical & Plumbing <input type="checkbox"/> Electrical service change _____ (#) of Amps <input type="checkbox"/> New electric circuits <input type="checkbox"/> Water service replacement <input type="checkbox"/> Sewer service replacement <input type="checkbox"/> Gas line add/replace ____ ft	Re-Roof & Siding <input type="checkbox"/> Tear off <input type="checkbox"/> Recover (MAX 2 layers) <input type="checkbox"/> Composition _____ yr <input type="checkbox"/> Stucco <input type="checkbox"/> Siding <input type="checkbox"/> Indicate Other _____
Complete description of work if other than noted above, please be specific and include everything that is being modified.			
<i>PAID COVER</i>			

The following approvals shall be initiated by the applicant prior to acceptance of the application:

City of Fallon Variance	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
State Health Department (if building involves food & drink handling)	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
State and Local Fire Marshal	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
NDOT (if highway access required to lot)	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A
Geotechnical/Engineering Report	<input type="checkbox"/> Approved	<input type="checkbox"/> N/A

I understand that this application does not guarantee permit issuance nor allow work to commence. I understand and agree that the City of Fallon does not enforce C.C.&R.'s and has no obligation to explain every requirement and ordinance to me prior to my project. I certify that the information provided is true and correct to the best of my knowledge and I am authorized to submit this application for review. I agree to comply with all ordinances and laws regulating work in the City of Fallon. I certify that the work to be done under this permit is for the purpose of improving the property stated; that I am familiar with the requirements of the adopted building codes of the City of Fallon, as affecting this work and that I will call for required inspections. Construction must be performed by a contractor licensed in the State of Nevada for the work performed except for Home Owner/Builders. I further acknowledge that the Department of Building Inspection has made no inquiry as to the status of legal title to this land beyond my representations and hereby agree to hold the City of Fallon and the Department of Building Inspection harmless in the event any person claiming paramount title should make a claim based upon this permit against the City of Fallon and the Department of Building Inspection. I agree to save, indemnify and keep harmless the City of Fallon and its officers, employees and agents against all liabilities, judgments, costs and expenses which accrue against the City in consequence of the granting of this authorization. I further certify that I am the owner or the owner's authorized agent:

ALLEN C BARBERE
Print Applicant Name

Allen C Barber
Applicant Signature

1-15-2021
Date

THIS AUTHORIZATION SHALL BECOME VOID IF NOT ACTED UPON WITHIN SIXTY DAYS OF ISSUANCE, OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF 180 DAYS AT ANY TIME AFTER WORK IS COMMENCED, AND MAY BE VOIDED IF INCORRECT INFORMATION OR ADDITIONAL INFORMATION IS DISCOVERED THAT MAY JUSTIFY THE SAME.

TO BE COMPLETED BY BUILDING DEPARTMENT

Accepted By

Date

Elevation Certificate

☐ Required

☐ N/A

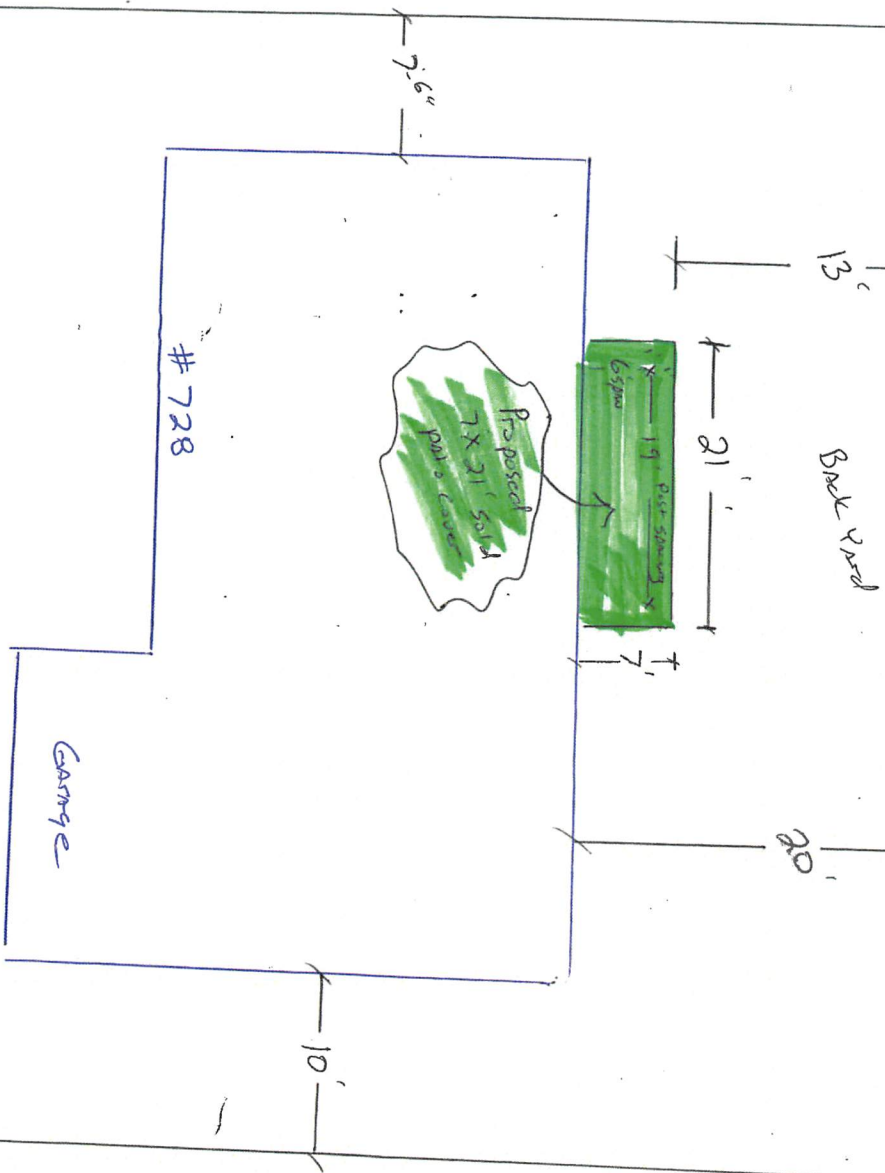
Permit Number

\$

Permit Cost

Notes:

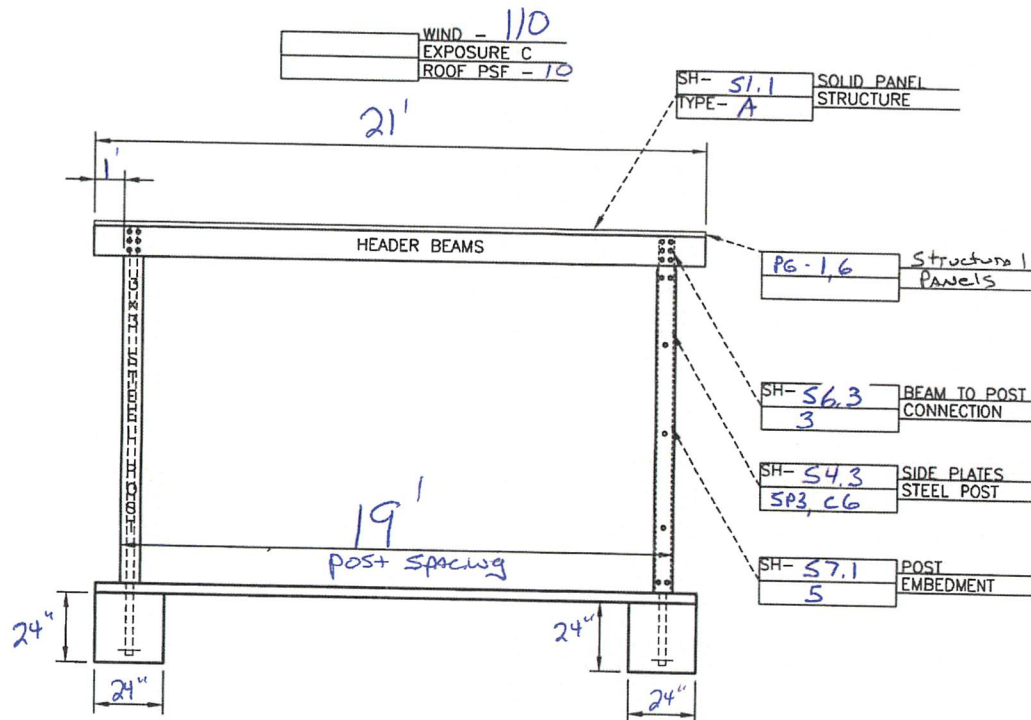
MEGAN WAY



Contractor

Quality First
 Home Improvement
 6545 Sunrise Blvd.
 Citrus Heights, CA 95610
 info@qualityfirsthome.com
 LC. MLB # 76898
 LC. CSLB # 675772

DATE 12.15.20	APPROVED A	SHEET S-1
DRAWN BY T.E.S.		



FRONT ELEVATIONS

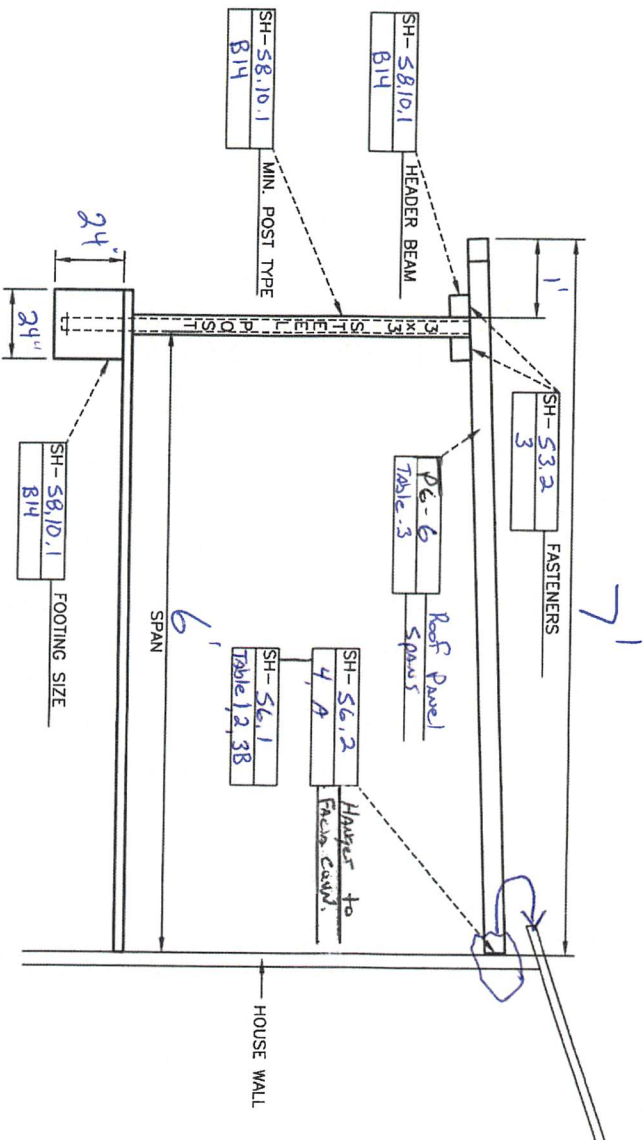
CONTRACTOR:

Quality First
Home Improvement
6545 Sunrise Blvd.
Citrus Heights, CA 95610
info@qualityfirsthome.com
LIC. NMLB # 74998
LIC. CSLB # 875772

Authorized Signature

[Signature]

DATE 12-15-20	ADDENDUM △ -	SHEET: S-1
DRAWN BY T.E.S.		



SIDE ELEVATION

CONTRACTOR:

Quality First
 Home Improvement
 6545 Sunrise Blvd.
 Citrus Heights, CA 95610
 info@qualityfirstone.com
 LIC. MLB # 74998
 LIC. CSLB # 875772

DATE 12.15.20	APPROVAL A	SHEET S-2
DRAWN BY T.E.S.		

PATIO COVER SYSTEM AS MFG. BY: DURALUM PRODUCTS, INC.

POINT OF CONTACTS

INFORMATION REQUESTS SHALL BE DIRECTED AS FOLLOWS:

CONTRACTORS: PLEASE CONTACT DURALUM
BUILDING DEPARTMENTS: PLEASE CONTACT ASTEL ENGINEERING
HOME OWNERS: PLEASE REQUEST ANY INFORMATION THROUGH YOUR CONTRACTOR

24030 ACERO SUITE 200
MISSION VIEJO, CA 92691

PHONE: (949) 305-1130
FAX: (949) 305-1420

STRUCTURAL ENGINEER OF RECORD:
POINT OF CONTACT:

DUSTIN K. ROSEPIK, SE 5985
MADE-DOMINIQUE SETA, SE 5987



DESIGN PARAMETERS

GOVERNING CODES:
THE DESIGN OF ATTACHED AND FREESTANDING COVERS SHOWN IN THIS REPORT COMPLIES WITH THE FOLLOWING CODES:
- 2012/2015/2018 INTERNATIONAL BUILDING AND RESIDENTIAL CODES
- 2015/2018 CALIFORNIA BUILDING AND RESIDENTIAL CODES
- ASCE/SEI 7-10 and 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
- 2015 ALUMINUM DESIGN MANUAL

LIVE LOADS DESIGN PARAMETERS:

IT IS THE RESPONSIBILITY OF THE ENTITY SUBMITTING THE DRAWINGS FOR THIS PROJECT TO VERIFY LIVE LOADS WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
1. IN RESIDENTIAL APPLICATIONS, ROOF LIVE LOAD CAN GENERALLY BE TAKEN AS 10 PSF PER IBC / CBC APPENDIX H, SECTION A105.1 OR IBC / CBC APPENDIX I, SECTION 105.1.
2. IN COMMERCIAL APPLICATIONS, ROOF LIVE LOAD CAN GENERALLY BE TAKEN AS 20 PSF PER IBC / CBC CHAPTER 16

WIND SPEED DESIGN PARAMETERS:

1. THE FREESTANDING AND ATTACHED COVERS NOTED HEREIN ARE DESIGNED AS "OPEN STRUCTURES," IN ACCORDANCE WITH ASCE/SEI 7.
2. FREESTANDING COVERS SHALL NOT BE EXCLUDED WITH ANY TYPE OF SOLID OR MESH MATERIAL, UNLESS SPECIFICALLY DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
3. COVERS SHALL NOT BE INSTALLED IN AREAS NEAR HILLS, RIDGES AND ESCARPMENTS AS DEFINED IN ASCE/SEI 7, SECTION 26.2, UNLESS SITE SPECIFIC ENGINEERING IS PROVIDED VALIDATING THE WIND LOAD USED.
4. THE BASIC WIND SPEED CONSIDERED IN THIS REPORT ARE 130, 120, 130 MPH, EXPOSURES B AND C (BASED ON THE 2012 IBC, 2015/2018 IBC/CBC, 2013 CBC, AND 2016 CBC/CBCA).
5. FOR USE WITH THE 2012 IBC AND 2013 CBC, USE THE ABOVE MENTIONED WIND SPEEDS BY SCATTERING.

WIND SPEED (MPH) (1)	110 MPH	120 MPH	130 MPH
BOULVALENT 2012 IBC / 2013 CBC WIND SPEED	85 MPH	95 MPH	105 MPH

EXAMPLE: IF 2012 IBC OR 2013 CBC WIND SPEED IS 85 MPH, THE SELECTIONS IN THIS REPORT SHALL BE MADE FOR A WIND SPEED OF 85 MPH / SCATTER (1) = 130 MPH.

SNOW LOADS DESIGN PARAMETERS:

IT IS THE RESPONSIBILITY OF THE ENTITY SUBMITTING THE DRAWINGS FOR THIS PROJECT TO VERIFY SNOW LOADS WITH THE LOCAL AUTHORITY HAVING JURISDICTION.
SEE SHEETS 12.1 AND 12.2 OR 12.1 AND 12.2 FOR SNOW LOADS DESIGN PARAMETERS.

SEISMIC LOAD DESIGN PARAMETERS:

SEISMIC DESIGN BASE SHEAR: 17 POUNDS PER LINEAR FOOT ALONG THE SUPPORTING BEAMS, CONSIDERING A 24" MAX SPAN BETWEEN BEAMS AND THE FOLLOWING DESIGN PARAMETERS:

- SITE CLASS: B
- SEISMIC DESIGN CATEGORY: E
- MAPPED SPECTRAL RESPONSE COEFFICIENTS $S_s = 1.50$, $S_1 = 0.6$, $S_2 = 1.0$, $S_3 = 0.50$
- RESPONSE MODIFICATION FACTOR, $R = 1.25$
- RISK CATEGORY: II
- THE PATIO COVER STRUCTURES DETAILED IN THIS SET OF PLANS ARE IN COMPLIANCE WITH ASCE 7-10 SECTION 12.8.1.3. AS A RESULT, THIS SET OF PLANS CAN BE USED AT ANY SITE WITH $S_s > 1.50$, CONSIDERING $S_s = 1.50$ WHEN DESIGNED FOR 2012/2015/2018 IBC/CBC AND 2013/2018 CBC/CBCA.
- THE PATIO COVER STRUCTURES DETAILED IN THIS SET OF PLANS ARE IN COMPLIANCE WITH ASCE 7-16 SECTION 12.8.1.3. AS A RESULT, THIS SET OF PLANS CAN BE USED AT ANY SITE WITH $1.0 < S_s < 1.428$, CONSIDERING $S_s = 1.0$ FOR SITES WITH $S_s < 1.0$, USE S_s FOR SITES WITH $S_s > 1.428$. IT IS ACCEPTABLE TO REDUCE THE SEISMIC LOADS USING 0.7 S_s INSTEAD OF S_s .
- MINIMUM STRUCTURAL SEISMIC SEPARATION BETWEEN EXISTING BUILDING AND FREESTANDING PATIO COVER SHALL BE 4" AT 12" HIGH MAX PATIO COVERS AND 5" AT 12" HIGH MAX PATIO COVER. REFER TO STATE AND CITY CODES FOR OTHER SPACING REQUIREMENTS THAT MAY BE MORE STRINGENT.

OTHER DESIGN PARAMETERS:

- DESIGN LOADS COMBINATIONS ARE IN ACCORDANCE WITH IBC AND CBC SECTION 1605.3.1 OR 1605.3.2.
- ALL APPLICABLE REDUCTION FACTORS DETAILED IN THIS REPORT ARE CUMULATIVE.
- SOLID AND LATTICE ALUMINUM COVERS ARE CLASS A ROOF ASSEMBLY IN ACCORDANCE WITH SECTION CBC 1505.2, EXCEPTION 2.

DESIGN ASSUMPTIONS:

- MINIMUM ROOF SLOPE FOR SOLID ROOF PANELS WITH DECK: SEE DETAIL 18/53.2
- MINIMUM ROOF SLOPE FOR SOLID ROOF PANELS WITH DURALUM PANEL: SEE DETAIL 18/53.2
- MINIMUM ROOF SLOPE FOR ALL STRUCTURES IS 3 DEGREES
- THE "LENGTH OF STRUCTURE" SHALL BE TAKEN AS THE CONTINUOUS DISTANCE MEASURED ALONG THE EXISTING BUILDING WALL FROM ONE END OF PATIO COVER SUPPORT BEAM TO THE OTHER, INCLUDING ANY BEAM SPLICES. THE STRUCTURE LENGTH SHALL BE DETERMINED BY THE CONTINUOUS DISTANCE MEASURED ALONG THE EXISTING BUILDING WALL FROM ONE END OF PATIO COVER SUPPORT BEAM TO THE OTHER, INCLUDING ANY BEAM SPLICES. THE STRUCTURE LENGTH SHALL BE DETERMINED BY THE CONTINUOUS DISTANCE MEASURED ALONG THE EXISTING BUILDING WALL FROM ONE END OF PATIO COVER SUPPORT BEAM TO THE OTHER, INCLUDING ANY BEAM SPLICES.
- CALCULATIONS FOR MAXIMUM SPANS WHEN ATTACHING TO AN EXISTING ROOF OVERHANG, AS SHOWN ON TABLE 1 ON SE.1 AND/OR SE.1, ARE ASSUMING THAT THE EXISTING WOOD RAFTERS OR TRUSSES ARE DOUGLAS FIR LARCH NO. 2. THIS TABLE CAN ALSO BE USED FOR OTHER WOOD SPECIES WITH $F_b \geq 900$ psi AND $F_v \geq 180$ psi.

SHEET INDEX

SEE SHEET S1.x OR L1.x FOR SHEET INDEX.
ALL UNUSED SHEETS SHALL BE REMOVED FROM THIS SET OF DRAWINGS.

GENERAL NOTES

DRAWING NOTES:

- THE DRAWINGS AND SPECIFICATIONS SHOWN REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE NOTED, AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- THE APPROVED SET OF DRAWINGS AND SPECIFICATIONS SHALL BE KEPT AT THE JOB SITE AND SHALL BE AVAILABLE TO THE AUTHORIZED REPRESENTATIVES OF THE BUILDING AND SAFETY DEPARTMENT. THERE SHALL BE NO DEVIATION FROM THE APPROVED PLANS AND SPECIFICATIONS WITHOUT AN APPROVED CHANGE ORDER.

MATERIAL SPECIFICATIONS:

- ALUMINUM ALLOYS SPECIFIED ON DRAWINGS: $F_y = 28$ KSI AND $F_u = 38$ KSI FOR ALL ALUMINUM MEMBERS UNLESS OTHERWISE NOTED. ALTERNATE ALUMINUM ALLOYS MAY BE SUBSTITUTED FOR THOSE SHOWN, PROVIDED THEY ARE REGISTERED WITH THE ALUMINUM ASSOCIATION, ASTM OR EN (EUROPEAN STANDARDS), AND HAVE EQUAL OR GREATER YIELD AND ULTIMATE STRENGTHS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 2,500 POUNDS PER SQUARE INCH.
- EMBEDDED STEEL MEMBERS SHALL BE HOT-DIPPED GALVANIZED, AND CONFORM TO A500 GRADE B. ROLL FORMED STEEL MEMBERS SHALL CONFORM TO A553-S5 (STRUCTURAL STEEL) GRADE 50 G60.
- BOLTS: ALUMINUM BOLTS SHALL BE 2024-T4 STEEL BOLTS SHALL BE ASTM A-307. ALL BOLTS SHALL HAVE STANDARD-CUT PLATED WASHERS.
- SCREWS: ALL SCREWS ARE SELF DRILLING (SDS) OR SHEET METAL SCREWS (SMS) IN CONFORMANCE WITH ICC-ES ESR-1576, ICC-ES ESR-3008, OR APPROVED EQUAL.
- FASTENERS TO WOOD: WOOD AND LAG SCREWS ARE REQUIRED TO BE INSTALLED IN ACCORDANCE WITH THE 2015 NATIONAL DESIGN SPECIFICATIONS, INCLUDING PRE-DRILLING OF HOLES. ALL LAG SCREWS SHALL BE FULL-THREADED LAG SCREWS.
- POST-INSTALLED ANCHORS: POST-INSTALLED ANCHORS USED SHALL BE SHAMPOO STRONG THE STRONG BOLT 2, STAINLESS STEEL (ICC-ES ESR-3037) OR EQUAL. BOLTS SHALL BE INSTALLED PER THE MANUFACTURER'S INSTALLATION AND LAPAD REPORT. SPECIAL INSPECTION IS NOT REQUIRED.
- ALL COMPONENTS MANUFACTURED OR SUPPLIED BY DURALUM AND DESCRIBED IN THIS DOCUMENT ARE INTERCHANGEABLE, PROVIDED THEY ARE SELECTED APPROPRIATELY TO SUPPORT THE LOADS THEY ARE SUBJECT TO.
- THE SELF WEIGHT OF THE PATIO COVER COMPONENTS IN THIS REPORT CAN BE CALCULATED FROM THEIR SECTION PROPERTIES. THE SOUD COVERS VARY IN WEIGHT FROM ABOUT 1 PSF TO ABOUT 3 PSF.
- ROOF ISOLATED PANELS (WHERE OCCURS), SEE S3.2 AND LAPAD 005.

FOOTINGS:

- ALL NEW CONCRETE FOOTINGS SHALL BEAR ON FIRM, NATURAL, UNDISTURBED SOIL OR CERTIFIED FILL.
- DESIGN VERTICAL SOIL BEARING PRESSURE IS 1,500 POUNDS PER SQUARE FOOT.
- DESIGN LATERAL SOIL BEARING PRESSURE IS 300 POUNDS PER SQUARE FOOT PER FOOT OF FOOTING DEPTH (EQUALS 100 PSF/FT \times 2 PER TABLE 1806.2 AND SECTION 1806.3.4).
- THE BOTTOM OF FOOTINGS SHALL EXTEND BELOW THE FROST DEPTH. CONTRACTOR TO VERIFY FROST DEPTH WITH AUTHORITY HAVING JURISDICTION.

SLAB ON GRADE USED AS A FOUNDATION SYSTEM:

IN ACCORDANCE WITH IBC/CBC APPENDIX H, SECTION A105.2, AND IBC/CBC APPENDIX I, SECTION 1105.2, IN AREAS WITH A FROST DEPTH EQUAL TO ZERO, ATTACHED COVERS FOR RESIDENTIAL USE MAY BE SECURED TO AN EXISTING CONCRETE SLAB PROVIDED THE FOLLOWING:

- THE SLAB ON GRADE IS AT LEAST 3" THICK. SEE DETAIL 3 ON S2.2 OR L2.2 AND DETAIL 4 ON S2.3 OR L2.3 FOR REQUIREMENTS FOR THICKER SLAB.
- THE SLAB ON GRADE SHALL BE CONTINUOUS BETWEEN COLUMNS AND A MINIMUM OF 10'-0" WIDE. WITHIN THIS AREA, THERE SHALL BE NO CRACKS WIDER THAN 1/4" OR CONTROL/EXPANSION JOINT DEEPER THAN 1/4".
- THERE SHALL BE A 6" MINIMUM DISTANCE BETWEEN ANY ANCHOR BOLT AND A SLAB EDGE, CRACK WIDER THAN 1/32" OR CONTROL/EXPANSION JOINT DEEPER THAN 1/2". SEE DETAILS 4 ON S2.3 OR L2.3 FOR EXCEPTION TO MINIMUM EDGE DISTANCE.
- THE MAXIMUM DEAD AND LIVE / SHOW LOAD AT EACH COLUMN IS 750 POUNDS WHEN L1-10PSF.
- DESIGN FOR PATIO COVERS SUPPORTED ON CONCRETE SLAB ON GRADE IS IN ACCORDANCE WITH 2012/2015/2018 IBC AND 2013/2016 CBC SECTION A105.2 FOR 10 PSF RESIDENTIAL CONSTRUCTION, AND A3.3-14 FOR 20, 25 AND 30 PSF RESIDENTIAL AND COMMERCIAL CONSTRUCTION.

NOTES TO LOCAL AUTHORITY HAVING JURISDICTION AND ENTITY SUBMITTING DRAWINGS FOR APPROVAL

USE OF THIS SET OF PLANS FOR A SITE SPECIFIC PROJECT:

- NOT ALL PAGES OF THIS IAPMO REPORT WILL BE USED FOR A SITE SPECIFIC PROJECT. EACH PROJECT SUBMITTED TO THE LOCAL AUTHORITY HAVING JURISDICTION SHOULD INCLUDE ONLY THE PERTINENT SITE SPECIFIC STRUCTURAL COMPONENTS LOCATED WITHIN THIS IAPMO LISTED EVALUATION REPORT.
- ALL ITEMS PERTAINING TO EACH INSTALLATION (TYPE OF ROOF PANEL, HEADER SPAN, COLUMN SIZE, CONNECTION DETAILS ETC.) SHALL BE CIRCLED AND CLEARLY IDENTIFIED BY THE ENTITY SUBMITTING THE DRAWINGS FOR APPROVAL.
- PLEASE NOTE THAT ASTEL ENGINEERING GENERATED AND STAMPED THE ORIGINAL IAPMO REPORT AS AVAILABLE FROM IAPMO DIRECTLY, BUT WAS NOT INVOLVED IN MAKING ANY SITE SPECIFIC SELECTIONS OR MODIFICATIONS TO THESE DRAWINGS. ANY HANDMADE OR HIGHLIGHTING ON THE SITE SPECIFIC SET OF DRAWINGS ARE THE RESPONSIBILITY OF THE ENTITY SUBMITTING THE DRAWINGS FOR APPROVAL.
- EACH INSTALLATION SHALL BEAR AN IDENTIFYING TAG INDICATING THE NAME AND ADDRESS OF THE MANUFACTURER DESIGN LOADS AND ENCLOSABILITY.
- THE ORIGINAL IAPMO REPORT BEARS AN ELECTRONIC STAMP FROM ASTEL ENGINEERING, AND A WET STAMP IS NOT REQUIRED IN ACCORDANCE WITH THE REGULATIONS STATED BY THE PROFESSIONAL BOARD OF ENGINEERS.
- A COLOR COPY OF THE ORIGINAL PAGES FROM THE IAPMO REPORT IS NOT REQUIRED. A COLOR COPY OF THE CONSTRUCTION DOCUMENTS MAY BE REQUIRED IF SELECTIONS WERE MADE IN A WAY THAT WILL NOT BE VISIBLE ON A BLACK AND WHITE COPY.

AT A MINIMUM, SUBMISSION FOR A BUILDING PERMIT MUST INCLUDE THE FOLLOWING INFORMATION FROM THIS EVALUATION REPORT:

- TITLE SHEET AND GENERAL NOTES SHEET, G0.1
- IAPMO APPROVED SHEET G0.2
- STRUCTURAL CONFIGURATION (e.g., SOLID OR LATTICE ROOF, FREESTANDING OR ATTACHED), SHEET S1.x OR L1.x
- SHOW LOAD DESIGN SHEETS S2.1 AND S2.2, WHERE APPLICABLE.
- BASED ON THE REQUIRED DESIGN LOADS, SITE-SPECIFIC RAFTER AND/OR PANEL SPAN TABLES S3.x OR L3.x
- TYPE OF HEADERS, POST TYPE & QUANTITY, FOOTING SIZE (WHERE REQUIRED) BASED ON THE SITE-SPECIFIC DESIGN LOADS.
- APPROPRIATE STRUCTURAL DETAILS.
- OTHER DOCUMENTATION THAT MAY BE REQUIRED BY THE LOCAL AUTHORITY HAVING JURISDICTION, SUCH AS A SITE PLAN.
- SEE S1.x OR L1.x FOR SHEET INDEX.

JOB NAME: RENPC-3986/Barbee
JOB ADDRESS: 728 Megan way
Fallow, Nv. 89408
WIND LOAD: 110
LIVE / SNOW LOAD: 10



2485 RAILROAD ST,
CORONA, CA 92880
951.738.4500



DATE SIGNED: July 8, 2019



26030 ACERO, SUITE 200
MISSION VIEJO, CA 92691
949.305.1160 / FAX 949.305.1420



EXPIRES ON: JUNE 30, 2020

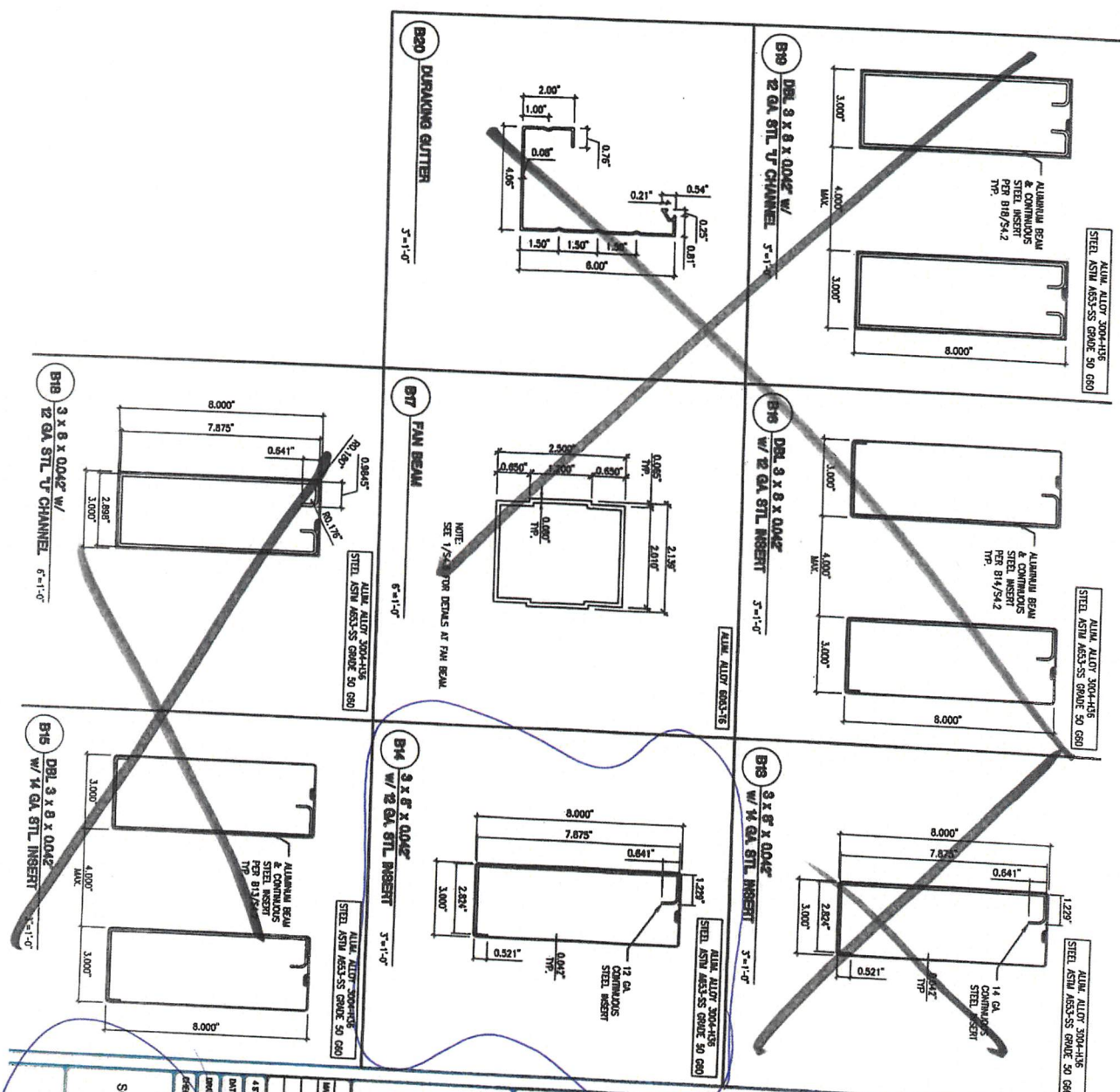
REVISIONS

MARK	DATE	DESCRIPTION

4 STEEL JOB # DAG-02
DATE 07/08/19
DRAWN BY RC
CHECKED DRB

IAPMO 195 V3.1.1
TITLE SHEET,
DESIGN LOADS,
GENERAL NOTES
G0.1





REVISIONS

DATE	DESCRIPTION

DATE:

BY:

CHECKED:

DATE:

BY:

CHECKED:

EXPRESS OK: JUNE 30, 2021

IAPMO

ES

2000 ACREO, SUITE 200
MUSKOGEE, OK 74451
918.203.1100 | FAX 918.203.1420

DATE SIGNED: DECEMBER 17, 2019

PROFESSIONAL ENGINEER, STATE OF NEVADA

DUSTIN K. ROSEPIRK
Exp. 12/31/2021
No. 039861

SOLID PANEL STRUCTURES:

BEAM PROFILES

IAPMO 195 V3.1.2

S4.2

DURALUM

2465 RAILROAD ST.
CONROCK, CA 92680
857.786.4500

2465 RAILROAD ST.

CONROCK, CA 92680

857.786.4500



1583 4 x 4 x 3/16



CH 148 4 x 4 x 1/4



C7 H68 3 x 3 x 2/16



C8 **HSS 3 x 3 x 1/4**



C8 H68 3 x 3 x 5/8



0042' SIDE PLAT



3. MAG POST



3" SQ. STEEL PC



ALUM. ALLOY 3004-H13



3 582 ALMA PC



SP3 0.032" SIDE PLAT



DATE SIGNED: DECEMBER 17, 2015

848.385.1180 | FAX 848.385.1420






















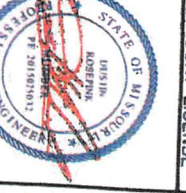














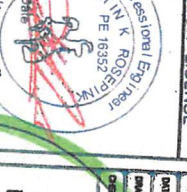
REMARKS

6. 6.000

COLUMN PROFILES

TABLE 1 - MAXIMUM CLR SPAN TO ADJACENT BEAM WHEN USING DETAIL #S2			
U/GSL	EXISTING FRAMING MEMBER	BRACKET OFFSET "D"	MAXIMUM CLR SPAN
10	2x4 FULL	24"	12'
10	2x6 FULL	24"	18'
10	2x8 FULL	24"	24'
10	2x10 FULL	24"	30'
10	2x12 FULL	24"	36'
10	2x14 FULL	24"	42'
10	2x16 FULL	24"	48'
10	2x18 FULL	24"	54'
10	2x20 FULL	24"	60'
10	2x22 FULL	24"	66'
10	2x24 FULL	24"	72'
10	2x26 FULL	24"	78'
10	2x28 FULL	24"	84'
10	2x30 FULL	24"	90'
10	2x32 FULL	24"	96'
10	2x34 FULL	24"	102'
10	2x36 FULL	24"	108'
10	2x38 FULL	24"	114'
10	2x40 FULL	24"	120'
10	2x42 FULL	24"	126'
10	2x44 FULL	24"	132'
10	2x46 FULL	24"	138'
10	2x48 FULL	24"	144'
10	2x50 FULL	24"	150'
10	2x52 FULL	24"	156'
10	2x54 FULL	24"	162'
10	2x56 FULL	24"	168'
10	2x58 FULL	24"	174'
10	2x60 FULL	24"	180'
10	2x62 FULL	24"	186'
10	2x64 FULL	24"	192'
10	2x66 FULL	24"	198'
10	2x68 FULL	24"	204'
10	2x70 FULL	24"	210'
10	2x72 FULL	24"	216'
10	2x74 FULL	24"	222'
10	2x76 FULL	24"	228'
10	2x78 FULL	24"	234'
10	2x80 FULL	24"	240'
10	2x82 FULL	24"	246'
10	2x84 FULL	24"	252'
10	2x86 FULL	24"	258'
10	2x88 FULL	24"	264'
10	2x90 FULL	24"	270'
10	2x92 FULL	24"	276'
10	2x94 FULL	24"	282'
10	2x96 FULL	24"	288'
10	2x98 FULL	24"	294'
10	2x100 FULL	24"	300'
10	2x102 FULL	24"	306'
10	2x104 FULL	24"	312'
10	2x106 FULL	24"	318'
10	2x108 FULL	24"	324'
10	2x110 FULL	24"	330'
10	2x112 FULL	24"	336'
10	2x114 FULL	24"	342'
10	2x116 FULL	24"	348'
10	2x118 FULL	24"	354'
10	2x120 FULL	24"	360'
10	2x122 FULL	24"	366'
10	2x124 FULL	24"	372'
10	2x126 FULL	24"	378'
10	2x128 FULL	24"	384'
10	2x130 FULL	24"	390'
10	2x132 FULL	24"	396'
10	2x134 FULL	24"	402'
10	2x136 FULL	24"	408'
10	2x138 FULL	24"	414'
10	2x140 FULL	24"	420'
10	2x142 FULL	24"	426'
10	2x144 FULL	24"	432'
10	2x146 FULL	24"	438'
10	2x148 FULL	24"	444'
10	2x150 FULL	24"	450'
10	2x152 FULL	24"	456'
10	2x154 FULL	24"	462'
10	2x156 FULL	24"	468'
10	2x158 FULL	24"	474'
10	2x160 FULL	24"	480'
10	2x162 FULL	24"	486'
10	2x164 FULL	24"	492'
10	2x166 FULL	24"	498'
10	2x168 FULL	24"	504'
10	2x170 FULL	24"	510'
10	2x172 FULL	24"	516'
10	2x174 FULL	24"	522'
10	2x176 FULL	24"	528'
10	2x178 FULL	24"	534'
10	2x180 FULL	24"	540'
10	2x182 FULL	24"	546'
10	2x184 FULL	24"	552'
10	2x186 FULL	24"	558'
10	2x188 FULL	24"	564'
10	2x190 FULL	24"	570'
10	2x192 FULL	24"	576'
10	2x194 FULL	24"	582'
10	2x196 FULL	24"	588'
10	2x198 FULL	24"	594'
10	2x200 FULL	24"	600'
10	2x202 FULL	24"	606'
10	2x204 FULL	24"	612'
10	2x206 FULL	24"	618'
10	2x208 FULL	24"	624'
10	2x210 FULL	24"	630'
10	2x212 FULL	24"	636'
10	2x214 FULL	24"	642'
10	2x216 FULL	24"	648'
10	2x218 FULL	24"	654'
10	2x220 FULL	24"	660'
10	2x222 FULL	24"	666'
10	2x224 FULL	24"	672'
10	2x226 FULL	24"	678'
10	2x228 FULL	24"	684'
10	2x230 FULL	24"	690'
10	2x232 FULL	24"	696'
10	2x234 FULL	24"	702'
10	2x236 FULL	24"	708'
10	2x238 FULL	24"	714'
10	2x240 FULL	24"	720'
10	2x242 FULL	24"	726'
10	2x244 FULL	24"	732'
10	2x246 FULL	24"	738'
10	2x248 FULL	24"	744'
10	2x250 FULL	24"	750'
10	2x252 FULL	24"	756'
10	2x254 FULL	24"	762'
10	2x256 FULL	24"	768'
10	2x258 FULL	24"	774'
10	2x260 FULL	24"	780'
10	2x262 FULL	24"	786'
10	2x264 FULL	24"	792'
10	2x266 FULL	24"	798'
10	2x268 FULL	24"	804'
10	2x270 FULL	24"	810'
10	2x272 FULL	24"	816'
10	2x274 FULL	24"	822'
10	2x276 FULL	24"	828'
10	2x278 FULL	24"	834'
10	2x280 FULL	24"	840'
10	2x282 FULL	24"	846'
10	2x284 FULL	24"	852'
10	2x286 FULL	24"	858'
10	2x288 FULL	24"	864'
10	2x290 FULL	24"	870'
10	2x292 FULL	24"	876'
10	2x294 FULL	24"	882'
10	2x296 FULL	24"	888'
10	2x298 FULL	24"	894'
10	2x300 FULL	24"	900'
10	2x302 FULL	24"	906'
10	2x304 FULL	24"	912'
10	2x306 FULL	24"	918'
10	2x308 FULL	24"	924'
10	2x310 FULL	24"	930'
10	2x312 FULL	24"	936'
10	2x314 FULL	24"	942'
10	2x316 FULL	24"	948'
10	2x318 FULL	24"	954'
10	2x320 FULL	24"	960'
10	2x322 FULL	24"	966'
10	2x324 FULL	24"	972'
10	2x326 FULL	24"	978'
10	2x328 FULL	24"	984'
10	2x330 FULL	24"	990'
10	2x332 FULL	24"	996'
10	2x334 FULL	24"	1002'
10	2x336 FULL	24"	1008'
10	2x338 FULL	24"	1014'
10	2x340 FULL	24"	1020'
10	2x342 FULL	24"	1026'
10	2x344 FULL	24"	1032'
10	2x346 FULL	24"	1038'
10	2x348 FULL	24"	1044'
10	2x350 FULL	24"	1050'
10	2x352 FULL	24"	1056'
10	2x354 FULL	24"	1062'
10	2x356 FULL	24"	1068'
10	2x358 FULL	24"	1074'
10	2x360 FULL	24"	1080'
10	2x362 FULL	24"	1086'
10	2x364 FULL	24"	1092'
10	2x366 FULL	24"	1098'
10	2x368 FULL	24"	1104'
10	2x370 FULL	24"	1110'
10	2x372 FULL	24"	1116'
10	2x374 FULL	24"	1122'
10	2x376 FULL	24"	1128'
10	2x378 FULL	24"	1134'
10	2x380 FULL	24"	1140'
10	2x382 FULL	24"	1146'
10	2x384 FULL	24"	1152'
10	2x386 FULL	24"	1158'
10	2x388 FULL	24"	1164'
10	2x390 FULL	24"	1170'
10	2x392 FULL	24"	1176'
10	2x394 FULL	24"	1182'
10	2x396 FULL	24"	1188'
10	2x398 FULL	24"	1194'
10	2x400 FULL	24"	1200'
10	2x402 FULL	24"	1206'
10	2x404 FULL	24"	1212'
10	2x406 FULL	24"	1218'
10	2x408 FULL	24"	1224'
10	2x410 FULL	24"	1230'
10	2x412 FULL	24"	1236'
10	2x414 FULL	24"	1242'
10	2x416 FULL	24"	1248'
10	2x418 FULL	24"	1254'
10	2x420 FULL	24"	1260'
10	2x422 FULL	24"	1266'
10	2x424 FULL	24"	1272'
10	2x426 FULL	24"	1278'
10	2x428 FULL	24"	1284'
10	2x430 FULL	24"	1290'
10	2x432 FULL	24"	1296'
10	2x434 FULL	24"	1302'
10	2x436 FULL	24"	1308'
10	2x438 FULL	24"	1314'
10	2x440 FULL	24"	1320'
10	2x442 FULL	24"	1326'
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10	2x446 FULL	24"	1338'
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10	2x450 FULL	24"	1350'
10	2x452 FULL	24"	1356'
10	2x454 FULL	24"	1362'
10	2x456 FULL	24"	1368'
10	2x458 FULL	24"	1374'
10	2x460 FULL	24"	1380'
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10	2x472 FULL	24"	1416'
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10	2x476 FULL	24"	1428'
10	2x478 FULL	24"	1434'
10	2x480 FULL	24"	1440'
10	2x482 FULL	24"	1446'
10	2x484 FULL	24"	1452'
10	2x486 FULL	24"	1458'
10	2x488 FULL	24"	1464'
10	2x490 FULL	24"	1470'
10	2x492 FULL	24"	1476'
10	2x494 FULL	24"	1482'
10	2x496 FULL	24"	1488'
10	2x498 FULL	24"	1494'
10	2x500 FULL	24"	1500'
10	2x502 FULL	24"	1506'
10	2x504 FULL	24"	1512'
10	2x506 FULL	24"	1518'
10	2x508 FULL	24"	1524'
10	2x510 FULL	24"	1530'
10	2x512 FULL	24"	1536'
10	2x514 FULL	24"	1542'
10	2x516 FULL	24"	1548'
10	2x518 FULL	24"	1554'
10	2x520 FULL	24"	1560'
10	2x522 FULL	24"	1566'
10	2x524 FULL	24"	1572'
10	2x526 FULL	24"	1578'
10	2x528 FULL	24"	1584'
10	2x530 FULL	24"	1590'
10	2x532 FULL	24"	1596'
10	2x534 FULL	24"	1602'
10	2x536 FULL	24"	1608'
10	2x538 FULL	24"	1614'
10	2x540 FULL	24"	1620'
10	2x542 FULL	24"	1626'
10	2x544 FULL	24"	1632'
10	2x546 FULL	24"	1638'
10	2x548 FULL	24"	1644'
10	2x550 FULL	24"	1650'
10	2x552 FULL	24"	1656'
10	2x554 FULL	24"	1662'
10	2x556 FULL	24"	1668'
10	2x558 FULL	24"	1674'
10	2x560 FULL	24"	1680'
10	2x562 FULL	24"	1686'
10	2x564 FULL	24"	1692'
10	2x566 FULL	24"	1698'
10	2x568 FULL	24"	1704'
10	2x570 FULL	24"	1710'
10	2x572 FULL	24"	1716'
10	2x574 FULL	24"	1722'
10	2x576 FULL	24"	1728'
10	2x578 FULL	24"	1734'
10	2x580 FULL	24"	1740'
10	2x582 FULL	24"	1746'
10	2x584 FULL	24"	1752'
10	2x586 FULL	24"	1758'
10	2x588 FULL	24"	1764'
10	2x590 FULL	24"	1770'
10	2x592 FULL	24"	1776'
10	2x594 FULL	24"	1782'
10	2x596 FULL	24"	1788'
10	2x598 FULL	24"	1794'
10	2x600 FULL	24"	1800'
10	2x602 FULL	24"	1806'
10	2x604 FULL	24"	1812'
10	2x606 FULL	24"	1818'
10	2x608 FULL	24"	1824'
10	2x610 FULL	24"	1830'
10	2x612 FULL	24"	1836'
10	2x614 FULL	24"	1842'
10	2x616 FULL	24"	1848'
10	2x618 FULL	24"	1854'
10	2x620 FULL	24"	1860'
10	2x622 FULL	24"	1866'
10	2x624 FULL	24"	1872'
10	2x626 FULL	24"	187

\$7.1

 ARIZONA LICENSE	 CALIFORNIA LICENSE	 COLORADO LICENSE	 CONNECTICUT LICENSE	 DELAWARE LICENSE	 FLORIDA LICENSE	 GEORGIA LICENSE
 HAWAII LICENSE	 IDAHO LICENSE	 ILLINOIS LICENSE	 IOWA LICENSE	 KANSAS LICENSE	 KENTUCKY LICENSE	 MAINE LICENSE
 MARYLAND LICENSE	 MASSACHUSETTS LICENSE	 MICHIGAN LICENSE	 MINNESOTA LICENSE	 MISSISSIPPI LICENSE	 MISSOURI LICENSE	 MONTANA LICENSE
 NEBRASKA LICENSE	 NEVADA LICENSE	 NEW HAMPSHIRE LICENSE	 NEW MEXICO LICENSE	 NORTH CAROLINA LICENSE	 NORTH DAKOTA LICENSE	 OREGON LICENSE
 PENNSYLVANIA LICENSE	 RHODE ISLAND LICENSE	 TEXAS LICENSE	 UTAH LICENSE	 VIRGINIA LICENSE	 WASHINGTON LICENSE	 WYOMING LICENSE

NOTE: PROFESSIONAL STAMPS ARE SHOWN WITHOUT THE LICENSE EXPIRATION DATE. PLEASE CHECK WITH THE STATE WHERE THE PROJECT IS BUILT OR CALL 45TEL ENGINEERING FOR CURRENT LICENSE EXPIRATION DATE.



2465 HILL ROAD ST.
COSTA MESA, CA 92626
949.724.4800



DATE ISSUED: DECEMBER 11, 2019



45TEL ENGINEERING
2000 ALBERTA, SUITE 200
MIRAMONTE VILLO, CA 92620
949.262.1100 / FAX 949.262.1400



EXPIRES ON: JUNE 30, 2021

DATE	REVISION	DESCRIPTION

DESIGNED BY: **DR. J. J. J.**

CHECKED BY: **DR. J. J. J.**

DATE: **06/12/2021**

PROJECT: **IAPMO 195 V3.1.2**

ADDITIONAL STATE LICENSE STAMPS

G9.1

Ken Tedford
MAYOR



James D. Richardson
Councilman

Kelly Frost
Councilwoman

Karla Kent
Councilwoman

January 25, 2021

Dear Property Owner:

NOTICE IS HEREBY GIVEN that the City of Fallon Board of Adjustment will hold a public hearing on **Tuesday, February 9, 2021 at 6:00 p.m.** in the City Council Chambers, 55 West Williams Avenue, Fallon, Nevada in order to consider an application by Allen Barbee, 728 Megan Way (APN #001-793-48), for a variance in an R-1 zone to encroach approximately 7 feet into the 20-foot rear setback in order to install a patio cover.

The Board of Adjustment may vary the strict application of Title 21 of the Fallon Municipal Code in appropriate cases and under certain conditions and safeguards in harmony with its general intent and purpose, in accordance with the rules and regulations set forth therein and under the provisions of Chapter 278 of the Nevada Revised Statutes.

In accordance with Section 21.76.020 of the Fallon Municipal Code, there is a 10-day period in which to appeal the Board of Adjustment's decision, in writing, to the City Council. Said appeal shall be filed with the City Clerk's Office.

NOTICE IS HEREBY FURTHER GIVEN that you are invited to attend the public hearing and to be heard regarding the variance application. Prior to the public hearing, written comments may be filed with the City Clerk to be considered by the Board of Adjustment. Copies of the application are available for inspection at the City Clerk's Office, 55 West Williams Avenue, Fallon, Nevada. If you have any questions, please feel free to contact Derek Zimney, City Engineer, at (775) 423-5107 or dzimney@fallonnevada.gov.

Sincerely,

Sean Richardson
City Clerk/Treasurer

DECLARATION OF MAILING

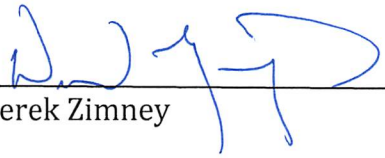
I declare under penalty of perjury under the laws of the State of Nevada that the foregoing is true and correct:

1. That I am a citizen of the United States of America, over the age of twenty-one (21) year; and
2. That on the date below, I mailed, by U.S. Mail, with postage fully prepaid, for 728 Megan Way APN #001-793-48, Proposed Board of Adjustment Letter to the following persons:

ALLEN C. & SUSAN D.	BARBEE	728 MEGAN WAY	FALLON,	NV	89406
DESIREE N. & ADAM	HAMMERSLEY	794 MEGAN WAY	FALLON,	NV	89406
CAROL ANN HUNNEWELL	TRUSTEE	772 MEGAN WAY	FALLON,	NV	89406
MICHAEL A. REGALDO &	JUANITA E. GEORGE	756 MEGAN WAY	FALLON,	NV	89406
NEIL & DIANE	PIETILA	742 MEGAN WAY	FALLON,	NV	89406
ZELMA L. WEISS	TRUSTEE	789 MEGAN WAY	FALLON,	NV	89406
ROLAND H. WEISS	TRUSTEE	3512 CHEROKEE DR.	CARSON CITY,	NV	89705
CHRISTOPHER & PATRICIA	JENSEN	773 MEGAN WAY	FALLON,	NV	89406
JAIS EDWARD	CHAMBERLAIN	761 MEGAN WAY	FALLON,	NV	89406
RUDOLF	GINE	729 MEGAN WAY	FALLON,	NV	89406
LOUIS PICKETT &	ELIZABETH GORDON	738 KINSLI ST.	FALLON,	NV	89406
JARED T. & BRIANNA L.	ARCHAMBAULT	641 MEGAN WAY	FALLON,	NV	89406
STEVEN E. & DAPHNE	ROGERS	790 DANI ST.	FALLON,	NV	89406
GARY L. & CYNTHIA E.	TROXEL	943 W WILLIAMS AVE.	FALLON,	NV	89406
CODY	ALEXANDER	758 DANI ST.	FALLON,	NV	89406
GIRIDHAR & ARAVINDA	ANDHAVARAPU	296 W HAROLD GRISWOLD WAY	Hanford	CA	93230
JEFFREY W. & DAWN M.	JACKSON	712 DANI ST.	FALLON,	NV	89406
ERIK & LACYDEE	DILL	682 DANI ST.	FALLON,	NV	89406
RUBEN A.	CANTU	2343 PINE VALLEY GLEN	ESCONDITO,	CA	92026
FALLON, NW	LAND GROUP LLC,	940 EMMETT AVE STE #200	BELMONT,	CA	94002
CABERNET INVESTMENTS	INC.	PO BOX 1060	FALLON,	NV	89407
THOMAS D. GOODSON	TRUSTEE	802 KINSLI ST.	FALLON,	NV	89406
BRYAN L.	OLIVAS	790 KINSLI ST.	FALLON,	NV	89406
ROBERT & DENISE	PURDY	776 KINSLI ST.	FALLON,	NV	89406

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DATED this 25th day of January, 2021.



Derek Zimney

