

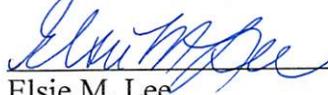
**AGENDA**  
**CITY OF FALLON – CITY COUNCIL**  
**55 West Williams Avenue**  
**Fallon, Nevada**  
**October 4, 2022 – 9:00 a.m.**

The Honorable City Council will meet in a regularly scheduled meeting on October 4, 2022 at 9:00 a.m. in the City Council Chambers, 55 West Williams Avenue, Fallon, Nevada.

Items on the agenda may be taken out of order. The Council may combine two or more agenda items for consideration. The Council may remove an item from the agenda or delay discussion relating to an item on the agenda at any time. Unless otherwise allowed by the City Council, public comments by an individual will be limited to three minutes.

1. Pledge of Allegiance to the Flag.
2. Certification of Compliance with Posting Requirements.
3. Public Comments: General in nature, not relative to any agenda items. No action may be taken on a matter raised under this item until the matter has been specifically included on an agenda as an item upon which action will be taken. **(For discussion only)**
4. Approval of Warrants: **(For possible action)**
  - A) Accounts Payable
  - B) Payroll
  - C) Customer Deposit
5. Consideration and possible approval of an application by Manpreet Arora for a retail liquor license for MJ Stores Inc., dba Manny’s Mart to be located at 1430 W. Williams Ave. **(For possible action)**
6. Consideration and possible approval of a Final Subdivision Map and Development Agreement for Phase 6 of Country Air Estates. **(For possible action)**
7. Consideration and possible approval of a Tentative Subdivision Map for Sage Landing Subdivision. **(For possible action)**
8. Public Comments **(For discussion only)**
9. Council and Staff Reports **(For discussion only)**
10. Executive Session (closed):
  - Discuss Litigation Matters **(For discussion only)** (NRS 21 et.seq.)
  - Negotiations with Operating Engineers Local Union No. 3 **(For discussion only)**
  - Negotiations with Fallon Peace Officers Association **(For discussion only)**

This agenda has been posted on or before 9:00 a.m. on September 29, 2022 at City Hall, District Court Building, Churchill County Office Complex, Churchill County Public Library and posted to the City's website (<https://fallonnevada.gov>) and the State of Nevada public notice website (<https://notice.nv.gov/>). Members of the public may request the supporting material for this meeting by contacting Elsie M. Lee, Deputy City Clerk, City Clerk's Office, City Hall, 55 West Williams Avenue, Fallon, Nevada, 775-423-5104. The supporting material for this meeting is also available to the public on the City's website (<https://fallonnevada.gov>) and the State of Nevada public notice website (<https://notice.nv.gov/>).

  
\_\_\_\_\_  
Elsie M. Lee

NOTICE TO PERSONS WITH DISABILITIES: Reasonable effort will be made to assist and accommodate physically handicapped persons desiring to attend the meeting. Please call the City Clerk's Office at 775-423-5104 in advance so that arrangements may be conveniently made.

October 4, 2022

Agenda Item 5

Consideration and possible approval of an application by Manpreet Arora for a retail liquor license for MJ Stores Inc., dba Manny's Mart to be located at 1430 W. Williams Ave. **(For possible action)**

Incorporated 1908

**CITY OF FALLON  
REQUEST FOR COUNCIL ACTION**

Agenda Item No. 5

DATE SUBMITTED: September 26, 2022

AGENDA DATE REQUESTED: October 4, 2022

TO: The Honorable City Council

FROM: Elsie Lee, Deputy City Clerk

SUBJECT TITLE: Consideration and possible approval of an application by Manpreet Arora for a retail liquor license for MJ Stores Inc., dba Manny's Mart to be located at 1430 W. Williams Ave. **(For possible action)**

TYPE OF ACTION REQUESTED: (Check One)

- |                                                          |                                    |
|----------------------------------------------------------|------------------------------------|
| <input type="checkbox"/> Resolution                      | <input type="checkbox"/> Ordinance |
| <input checked="" type="checkbox"/> Formal Action/Motion | <input type="checkbox"/> Other     |

RECOMMENDED COUNCIL ACTION: Motion to approve application by Manpreet Arora for a retail liquor license for MJ Stores Inc., dba Manny's Mart to be located at 1430 W. Williams Ave.

DISCUSSION: Manpreet Arora, owner of MJ Stores, Inc. dba Manny's Mart, has made application for a retail liquor license for MJ Stores, Inc. dba Manny's Mart, to be located at 1430 W. Williams Ave. A retail liquor license is a privileged license that allows the licensee to sell alcoholic beverages from a fixed and definite place of business for consumption off of the premises only.

The application has been reviewed by Police Chief Kris Alexander, Deputy City Clerk Elsie Lee, City Engineer Derek Zimney, and Deputy City Attorney Trent deBraga and has been recommended for approval.

FISCAL IMPACT: Annual retail liquor license fee revenue.

FUNDING SOURCE: N/A.

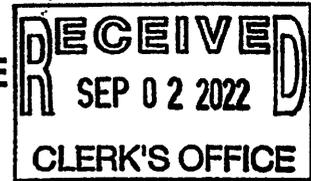
PREPARED BY: Elsie Lee, Deputy City Clerk

TO BE PRESENTED TO THE COUNCIL BY: Elsie Lee, Deputy City Clerk



# CITY OF FALLON CLERK'S OFFICE

55 West Williams Avenue, Fallon, Nevada 89406  
Phone: (775) 423-5104  
Fax: (775) 423-8874



## LIQUOR LICENSE APPLICATION

Application Type:  New  Owner Change  Manager Change  Location Change

Applicant Name: ARORA MANPREET S Application Date: 09/02/2022  
Last First MI

Title: MANAGER Phone: 916-670-9213

Date of Birth: 9/28/1990 Driver's License Number: 0406702211  
State: NV

List all addresses in which you have resided at for the past five (5) years.

Begin/End	Physical Address	City	State	Zip
Oct, 2020 Present	8962 Conifer Dr	Fallon	NV	89406
May 2017 to Oct, 2020	841 W. Vincent St	Fallon	NV	89406

Business Entity Type:  Sole Proprietor  Partnership  Limited Liability Company  DBA  
 Corporation  Association  Other: \_\_\_\_\_

Business Name: Manny's Mart (M/J Stores, Inc.)

Business Owner(s):

Name	Address	Title
MANPREET Arora	962 Conifer Dr, Fallon NV	MANAGER

Business Address: 1430 W. William Ave Fallon NV 89406  
City State Zip

Provide a brief description of the portion to be occupied by the establishment for which the license is sought:

Is the premises to be licensed leased by the applicant?  Yes  No

Name of the owner of the premises: GNH Properties, LLC

Name of the owner's authorized agent, if any: \_\_\_\_\_

What type of license for which the application is made:  Retail (Off Premises)  Drinking Establishment (On Premises)

Have you owned or managed any other business?  Yes  No



## CITY OF FALLON CLERK'S OFFICE

55 West Williams Avenue, Fallon, Nevada 89406

Phone: (775) 423-5104

Fax: (775) 423-8874

If Yes, list the business(es) you have owned or managed.

Begin/End	Name	Address	City	State	Zip
May 2017	South mini Mart	395 S Main St Fallon		NV	89406

Have you ever been issued a business or a liquor license?  Yes  No  
 If Yes, when? 2020 What Agency? City of Fallon

Have you ever had a business or liquor license revoked?  Yes  No  
 If Yes, when? \_\_\_\_\_ What Agency? \_\_\_\_\_

Have you ever been denied a business or liquor license?  Yes  No  
 If Yes, when? \_\_\_\_\_ What Agency? \_\_\_\_\_

Have you received any specialized training for serving alcoholic beverages?  Yes  No

If Yes, explain: \_\_\_\_\_

Have you ever been arrested?  Yes  No

If Yes, provide the following information:

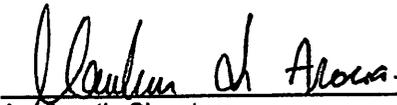
Date	Charge	Arresting Agency	Disposition

List five (5) references not related to you with daytime phone numbers:

Name	Phone <sup>cell</sup>	Relationship
Vivek Dhetia office 775-636-8579	775-772-4952	Friend
Pritpal Atwal	775-616-9945	friend
Hao Kon Tak	510-408-8499	friend
Brent	775-527-7336	friend
Jeja Saini	707-671-4607	friend
	916-588-5725	friend.

I declare under penalty of perjury that the foregoing is true and correct:

1. That I have received and read a copy of Chapter 5.08 of the Fallon Municipal Code – Alcoholic Beverage Sales;
2. That upon approval of a Liquor License, I will conduct the business and business establishment in accordance with the provisions of the laws of the State of Nevada, the United States, and the ordinances of the City of Fallon applicable to the conduct of business; and
3. That the above information is true and correct to the best of my knowledge and belief and that such declaration is made with the full knowledge that any failure to disclose, misstatement, or other attempt to mislead may be considered sufficient cause for denial of a business license.

  
 Applicant's Signature



# CITY OF FALLON CLERK'S OFFICE

55 West Williams Avenue, Fallon, Nevada 89406

Phone: (775) 423-5104

Fax: (775) 423-8874

## AUTHORIZATION AND RELEASE

I, MANFREET Arora., authorize the Fallon Police Department to perform a background check and to release the results of said investigation, which may include information of a confidential or privileged nature, to the City Council in public documents and/or discussion at a public meeting.

Manfreet Arora  
Applicant's Signature

### Official Use Only

[Signature]  
Recommended by Chief of Police or Designee  
Date 9/14/22

\_\_\_\_\_  
Not Recommended by Chief of Police or Designee  
Date \_\_\_\_\_

City of Fallon Engineering/Building Department	<u>[Signature]</u>	Date <u>9/22/22</u>
City of Fallon Attorney's Office	<u>[Signature]</u>	Date <u>9.22.2022</u>
City of Fallon/Churchill County Fire Dept.	<u>[Signature]</u>	Date <u>9-27-22</u>

Account No. \_\_\_\_\_

License No. \_\_\_\_\_

Payment Receipt No. \_\_\_\_\_

## Liquor License Application Interview Supplement

APPLICANT: Manpreet Singh Arora

DATE: 09/16/2022

BUSINESS NAME – Manny's Mart, 1430 W. Williams Ave., Fallon, NV 89406

I (will) will not) be the on-site supervisor.

If not, the on-site supervisor will be \_\_\_\_\_

I understand that if the on-site supervisor changes, I am responsible to notify the City Clerk's Office. Initials MSA

I acknowledge that as the license holder, I am personally responsible for what is sold at the store. Initials MSA

I further acknowledge that as the license holder, I am responsible for alcohol sales from the business and may be held personally responsible for alcohol sales that violate any law or ordinance. Initials MSA

I have received, read and understand the Liquor and Business License requirements within the Fallon Municipal Code and agree to abide by those requirements. Initials MSA

# FALLON POLICE DEPARTMENT

55 West Williams Avenue  
Fallon, Nevada 89406-2941  
775-423-2111  
Fax: 423-6527

Kristopher R. Alexander  
Chief of Police

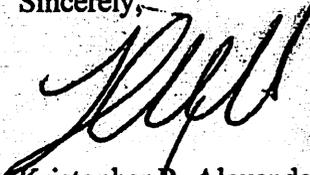
September 16, 2022

This letter certifies that Mr. Manpreet Singh Arora, Manny's Mart, located at 1430 W. Williams Ave, Fallon, NV 89406, has completed and passed his background check for a liquor license.

Additionally, I have met with the applicant regarding components of the Fallon Municipal Code concerning alcoholic beverage sales as well as his responsibilities as owner of the business.

Furthermore, there is a supplemental form that specifically addresses the operation of the business, to include identifying the on-site manager, and acknowledgments from the applicant indicating understanding he may be held personally responsible for improper business practices.

Sincerely,



Kristopher R. Alexander  
Chief of Police



# CITY OF FALLON CLERK'S OFFICE

55 West Williams Avenue, Fallon, Nevada 89406

Phone: (775) 423-5104

Fax: (775) 423-8874

*Pending*

## BUSINESS LICENSE APPLICATION

Application Type:  New  Owner Change  Name Change  Manager Change  Location Change

Application Name: <u>ARORA</u> <u>MANPREET</u> <u>S</u>			Date of Application: <u>09/02/2022</u>		
Applicant's Title: <u>Owner</u>			Phone: _____		
Home Address: <u>962 Canifer Dr</u>			<u>Fallon</u>	<u>NV</u>	<u>89406</u>
Business Entity Type: <input type="checkbox"/> Sole Proprietor <input type="checkbox"/> Partnership <input type="checkbox"/> Limited Liability Company <input checked="" type="checkbox"/> DBA <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Association <input type="checkbox"/> Other: _____					
Business Name: <u>Manny's Mart (MJ Stores, Inc.)</u>					
Business Owner(s): <u>MANPREET ARORA</u>			Phone: <u>916-670-9213</u>		
Business Manager: <u>Manpreet Arora</u>			Phone: _____		
Business Address: <u>1430 W William Ave</u>			<u>Fallon</u>	<u>NV</u>	<u>89406</u>
Mailing Address: <u>Same</u>					
Is this a Home Based Business: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <small>If "Yes", you will be subject to the City's small commercial electric rates.</small>					
Business Phone Number: _____			Business Fax Number: _____		
Email Address: <u>m.p.singh1990@hotmail.com</u>					
Federal Tax ID: _____			NV Business License Number: _____		
Sales/Use Tax ID: _____			Nevada Contractor Number: <u>-</u>		
County Number: _____					
Nature of Business: <u>Convenience store / liquor store</u>					

I certify that the business stated above, anticipates annual gross sales of:

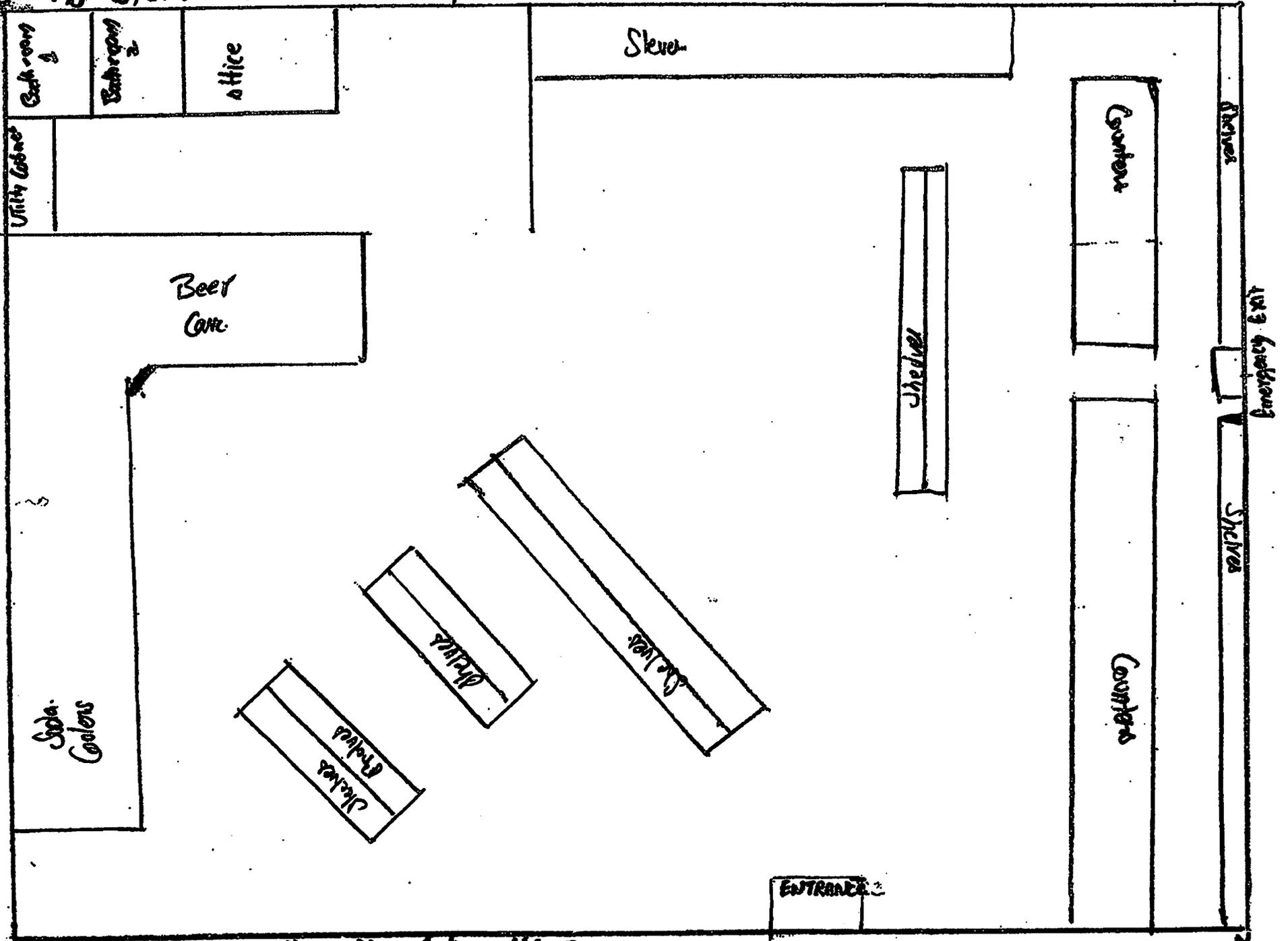
	Annual Gross Receipts	License Fee
<input checked="" type="checkbox"/>	Between \$0.00 and \$24,999.00	\$50.00
<input type="checkbox"/>	Between \$25,000.00 and \$99,999.00	\$100.00
<input type="checkbox"/>	Between \$100,000.00 and \$249,999.00	\$150.00
<input type="checkbox"/>	Between \$250,000.00 and \$499,999.00	\$200.00
<input type="checkbox"/>	Between \$500,000.00 and \$749,999.00	\$250.00
<input type="checkbox"/>	Between \$750,000.00 and \$999,999.00	\$300.00
<input type="checkbox"/>	Over \$1,000,000.00. For each additional \$500,000 of gross receipts, the fee shall be increased by \$125 (Example: \$1,768,593.00 = \$550.00 License Fee)	
<input type="checkbox"/>	Change of Owner, Manager, Name or Location = \$5.00 fee	
<b>TOTAL LICENSE FEE</b>		

I declare under penalty of perjury that the foregoing is true and correct:

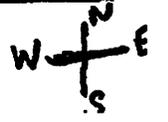
1. That I have read and reviewed a copy of Chapter 5.04 of the Fallon Municipal Code – Business Licenses;
2. That upon approval of a Business License, I will conduct the business and business establishment in accordance with the provisions of the laws of the State of Nevada, the United States, and the ordinances of the City of Fallon applicable to the conduct of business; and
3. That the above information is true and correct to the best of my knowledge and belief and that such declaration is made with the full knowledge that any failure to disclose, misstatement, or other attempt to mislead may be considered sufficient cause for denial of a business license.

*Manpreet Arora*  
Applicant's Signature

MJ Stores Inc DDT Mannys Mart.



1450 W. Wilson Ave. Fallon NV 89402



October 4, 2022

## Agenda Item 6

Consideration and possible approval of a Final Subdivision Map and Development Agreement for Phase 6 of Country Air Estates. **(For possible action)**

FALLON

Incorporated 1908

**CITY OF FALLON  
REQUEST FOR COUNCIL ACTION**

Agenda Item No.   6  

DATE SUBMITTED: September 27, 2022

AGENDA DATE REQUESTED: October 4, 2022

TO: The Honorable City Council

FROM: Derek Zimney, City Engineer

SUBJECT TITLE: Consideration and possible approval of a Final Subdivision Map and Development Agreement for Phase 6 of Country Air Estates. **(For possible action)**

TYPE OF ACTION REQUESTED: (Check one)

- |                                                          |                                    |
|----------------------------------------------------------|------------------------------------|
| <input type="checkbox"/> Resolution                      | <input type="checkbox"/> Ordinance |
| <input checked="" type="checkbox"/> Formal Action/Motion | <input type="checkbox"/> Other     |

RECOMMENDED COUNCIL ACTION: Motion to approve a Final Subdivision Map and Development Agreement for Phases 6 of Country Air Estates.

DISCUSSION: This map and agreement would allow for the construction of fourteen (14) new single-family lots, and one lot to dedicated to the City of Fallon for storm water infiltration.

On December 20, 2021 the City of Fallon City Council approved a Tentative map for 39 lots to complete the County Air subdivision. This is the first phase of three planned to construct improvements.

This map and agreement has been reviewed by Derek Zimney - City Engineer, Brian Byrd – Public Works Director, Bob Erickson – Chief of Staff, Sean Rowe - Deputy City Attorney, and Trent deBraga – Deputy City Attorney. The proposed final map has been submitted to the Nevada Department of Environmental Protection and Nevada Division of Water Resources.

FISCAL IMPACT: N/A - Water Rights Fees to be paid prior to the map being recorded.

FUNDING SOURCE: N/A

PREPARED BY: Derek Zimney, City Engineer

DATE: October 4, 2022

TO BE PRESENTED TO THE COUNCIL BY: Derek Zimney, City Engineer

THIS AGREEMENT made this \_\_\_ day of \_\_\_\_\_, 2022, by and between the CITY OF FALLON, a subdivision of the State of Nevada, hereinafter referred to as "Fallon" and Rockhound Investments, LLC., a Nevada limited liability company hereinafter referred to as "Rockhound, LLC", whereby the parties recite, covenant and agree as follows:

## 1. RECITALS

- A. Fallon is a political subdivision of the State of Nevada organized as a City pursuant to Nevada Revised Statutes Chapter 266 (General Law for Incorporation of Cities and Towns);
- B. Fallon has enacted ordinances that establish minimum standards of design and improvement for subdivisions in the incorporated area of the City at Title 20 - Subdivisions as authorized by Nevada Revised Statutes, Chapter 278 (Planning and Zoning);
- C. Fallon, recognizing the importance of entering into agreements with owners of property that have made significant financial commitments for the development of property within its corporate limits, has enacted Section 20.26.010 through 20.26.012 of Title 20 of the Ordinances of Fallon which authorizes Fallon to enter into development agreements with the owners of property that may include specific covenants that depart from the general subdivision development, design, and improvement standards set forth in Title 20 of the Fallon Municipal Code, hereafter ("FMC").
- D. Rockhound, LLC owns all that certain lot, piece or parcel of land situate in the County of Churchill, State of Nevada, described as follows:

Parcel D1 of the Parcel Map for Joe Jr. and Joann L. Serpa, Co-Trustees of the Joe Jr. and Joann L. Serpa Family Trust Agreement dated 10/26/1993 recorded January 31, 2005 under Document No. 367906, Official Records, Churchill County, Nevada.
- E. A Tentative Map to develop the above-referenced parcel was approved by the Fallon City Council on December 20, 2021, for what is entitled the Country Air Subdivision Phases 6-8; the tentative map was signed by the Mayor of the City of Fallon, Ken Tedford, Jr. and Deputy City Clerk for the City of Fallon, Elsie Lee.
- F. No subdivision improvements have been completed for the lots owned by Rockhound, LLC within the Country Air Subdivision Phases 6-8 as required to develop these parcels by FMC Title 20 and Nevada Revised Statutes Chapter 278;
- G. Rockhound, LLC has presented a Final Map of the Country Air Subdivision Phase 6 for approval by the Fallon City Council. Phase 6 of said subdivision consists of 15 total lots upon which Rockhound, LLC intends to develop 14 residential lots and one lot to be developed as a retention basin and upon completion conveyed to the City.

- H. Rockhound, LLC intends to use good faith and commercially reasonable efforts to develop the lots prior to the expiration of the term of this Agreement. Should Rockhound, LLC, sell any of the lots prior to their development, any successor in interest is hereby incorporated into all references to Rockhound, LLC in the covenants contained below.
- I. Fallon and Rockhound, LLC desire to enter into a development agreement (hereafter "Agreement") as authorized by Nevada Revised Statutes Chapters 278 Section 278.02598 and FMC Sections 20.26.010 through 20.26.012 to provide for the future construction and completion for all subdivision improvements for the 15 lots within Country Air Subdivision Phase 6.

NOW THEREFORE, Fallon and Rockhound, LLC agree as follows:

1. Rockhound, LLC agrees to install and construct at its expense all subdivision improvements for the 15 lots (hereafter collectively "Improvements") as depicted on the Final Map for the Country Air Phase 6 Subdivision and incorporated herein by reference. Among the Improvements to be constructed are the following: water distribution system, sewer infrastructure, storm drain and storm water collection infrastructure, electrical infrastructure, importing of suitable materials for grading, asphalt roadway, curb, gutter, sidewalk, pedestrian ramps, streetlights and signage.
2. Rockhound, LLC shall, as a requirement to subdivide Phase 6, install a sewer lift station and stormwater retention basin within the boundaries of Phase 6 each of which shall be of sufficient capacity to serve the Country Air Subdivisions Phases 6-8.
3. Rockhound, LLC agrees to complete the Improvements in a workman-like manner, according to Nevada Orange Book standards for soils, aggregates, concrete and asphalt and to provide Fallon with testing of such by Rockhound, LLC and as depicted on the Country Air Phase 6 Final Map, the Westex Geotechnical Report Dated April 24, 2021, and Drainage Report prepared by Robinson Engineering December 31, 2021.
4. Rockhound, LLC agrees to complete the Improvements as described in paragraph 1 above and, as hereinafter set forth, within twelve (12) months of the effective date of this Agreement, unless extended by the Fallon City Council at a properly scheduled official meeting of the Fallon City Council.
5. Rockhound, LLC agrees that no individual lot (s) will be sold or offered for sale as residential units or individually pledged as collateral for any purpose until Rockhound, LLC, or its successors in interest, has completed the Improvements in the manner set forth herein.
6. City of Fallon agrees that Rockhound, LLC may commence construction of homes within Phase 6 of the subdivision upon proper rough grading of the 15 lots;

Rockhound, LLC agrees that homes will not receive certificates of occupancy until all Improvements are completed and accepted by City of Fallon.

7. Fallon agrees that Rockhound, LLC may submit a letter of credit in lieu of a cash bond guaranteeing the completion of the Improvements herein. The letter of credit shall be in the amount of \$1,280,606.00 and in a form and subject to terms approved by the City of Fallon.
8. As individual Improvements are completed and accepted by Fallon, Rockhound, LLC may request a release from its line of credit of the value of the completed improvements as established by the City of Fallon.
9. Fallon agrees to not require a warranty bond for the Improvements constructed pursuant to this Agreement; however, Rockhound, LLC agrees to warrant the Improvements for a period of one year following their acceptance by the City of Fallon.
10. Nothing in this Agreement shall be construed to prohibit the Fallon City Council from adopting new ordinances, resolutions or regulations applicable to land subject to this Agreement, which do not conflict with those ordinances, resolutions and regulations in effect at the time this Agreement becomes effective, except that any subsequent action by the Fallon City Council must not prevent the development of the 14 lots as set forth in this Agreement.
11. Fallon shall certify that the Improvements required by this Agreement have been completed. Final approval shall be by the Fallon City Council and said approval shall be memorialized in a writing, recorded in the Office of the Churchill County Recorder and a Declaration signed by the Mayor of Fallon, that the terms of this Agreement have been fulfilled.
12. This Agreement shall be recorded in the Office of the Churchill County Recorder shall be binding upon and inure to the benefit of the parties hereto and their respective heirs, successors and assigns.
13. This Agreement shall be interpreted in accordance with and governed in all respects by the laws of the State of Nevada.
14. The exclusive venue for any action brought to interpret or enforce the terms of this Agreement shall be the Tenth Judicial District Court in Churchill County.
15. In the event an action is brought to interpret or enforce this Agreement, the prevailing party shall be entitled to recover costs and reasonable attorney's fees.
16. Each of the signatories hereto warrants and represents that it is competent and authorized to enter into this Agreement.

17. If any provision or any part of any provision of this Agreement is for any reason held to be invalid, unenforceable, or contrary to public policy, law, statute and/or ordinance, then the remainder of this Agreement shall not be affected thereby and shall remain valid and fully enforceable.
18. The effective date of this Agreement is the date the Fallon City Council shall approve it and authorize the Mayor and City Clerk/Treasurer to sign on behalf of Fallon.

APPROVED by vote of Fallon City Council, dated this. \_\_\_\_ day of \_\_\_\_, 2022.

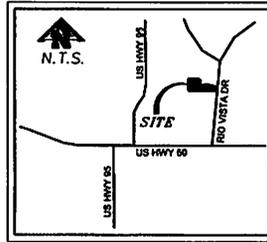
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Ken Tedford  
MAYOR

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Rockhound Investments, LLC

# COUNTRY AIR ESTATES UNIT #6



VICINITY MAP

**OWNERS CERTIFICATE:**

THIS IS TO CERTIFY THAT THE UNDERSIGNED, ROCK HOUND INVESTMENTS, LLC AND CURTIS CADWELL ARE THE OWNERS OF THE TRACT OF LAND REPRESENTED ON THIS PLAT AND HAVE CONSENTED TO THE PREPARATION AND RECORDATION OF THIS PLAT, THAT THE SAME IS EXECUTED IN COMPLIANCE WITH AND SUBJECT TO THE PROVISIONS OF N.R.S. CHAPTER 271, AND FALLON MUNICIPAL CODE TITLE 20, THAT THE RIGHT OF WAITS IDENTIFIED HEREON HEREBY OFFERED FOR DEDICATION TO THE CITY OF FALLON, STATE OF NEVADA AND THAT THOSE ACCEPTED BY THE CITY OF FALLON IS SET APART TO BE A PUBLIC THOROUGHFARE FOREVER; THAT ALL THE EASEMENTS AS SHOWN HEREON ARE GRANTED AS PERMANENT EASEMENTS FOR THE STATED PURPOSE. THE OWNERS DECLARE THAT THEY EXECUTED THIS CERTIFICATE FOR THE PURPOSE STATED HEREON, IN WITNESS WHEREOF, THE UNDERSIGNED HAVE AFFIXED HIS/HER NAMES.

THE OWNERS OF THIS FINAL MAP AND HEIRS ASSIGNS AND SUCCESSORS, AGREE TO PROVIDE NOTICE OF THE PROVISIONS OF NRS 401.40 AND CITY OF FALLON CODE TO ANY AND ALL SUBSEQUENT PURCHASERS.

ROCK HOUND INVESTMENTS, LLC.

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

NOTARY PUBLIC ACKNOWLEDGMENT

STATE OF NEVADA  
COUNTY OF \_\_\_\_\_ S.S.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY,  
KNOWN TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHO EXECUTED  
THE ABOVE INSTRUMENT FOR THE PURPOSE HEREON STATED.

NOTARY PUBLIC

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

CURTIS CADWELL

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

NOTARY PUBLIC ACKNOWLEDGMENT

STATE OF \_\_\_\_\_ S.S.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022,  
PERSONALLY APPEARED BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE AND COUNTY,  
KNOWN TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHO EXECUTED  
THE ABOVE INSTRUMENT FOR THE PURPOSE HEREON STATED.

NOTARY PUBLIC

**CITY ENGINEER'S CERTIFICATE:**

I, \_\_\_\_\_ DO HEREBY CERTIFY THAT I HAVE EXAMINED THIS FINAL MAP FOR ROCK HOUND INVESTMENTS, LLC, IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 29, T19N, R29E, M2DM, AS SHOWN ON THIS PLAT AND THAT IT IS SUBSTANTIALLY AS IT APPEARS ON THE APPROVED TENTATIVE MAP AND I AM SATISFIED THAT THIS MAP IS TECHNICALLY CORRECT.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

NAME/TITLE PRINTED

**COUNTY CLERK'S CERTIFICATE:**

THE UNDERSIGNED CHURCHILL COUNTY CLERK / TREASURER, HEREBY CERTIFY THAT THERE ARE NO LIENS FOR UNPAID STATE, COUNTY, CITY OR LOCAL TAXES OR SPECIAL ASSESSMENTS AND THAT ALL TAXES FOR THE FISCAL YEAR HAVE BEEN PAID ON THE PROPERTY, THE SUBJECT OF THIS MAP.

APN's: \_\_\_\_\_ DATE: \_\_\_\_\_

BY: CHURCHILL COUNTY CLERK/TREASURER

**CITY OF FALLON CERTIFICATE:**

I HEREBY ATTEST THAT THIS FINAL MAP WAS APPROVED AND ACCEPTED BY THE CITY OF FALLON ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022.

MAYOR \_\_\_\_\_ DATE: \_\_\_\_\_

ATTEST, FALLON CITY CLERK \_\_\_\_\_ DATE: \_\_\_\_\_

**WATER RESOURCES APPROVAL:**

THIS FINAL MAP IS APPROVED BY THE DIVISION OF WATER RESOURCES OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES CONCERNING WATER QUANTITY, SUBJECT TO THE REVIEW OF APPROVAL ON FILE IN THIS OFFICE.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
DIVISION OF WATER RESOURCES

**FIRE MARSHAL CERTIFICATE**

THIS IS TO CERTIFY THAT I HAVE EXAMINED THIS FINAL MAP AND THE IMPROVEMENT PLANS OF THIS SUBDIVISION AND I AM SATISFIED THAT THEY COMPLY WITH THE CITY OF FALLON FIRE CODE REQUIREMENTS.

FIRE MARSHAL \_\_\_\_\_ DATE: \_\_\_\_\_

**CITY CLERK'S CERTIFICATE:**

I, \_\_\_\_\_ DO HEREBY CERTIFY THAT I HAVE EXAMINED THIS FINAL MAP FOR ROCK HOUND INVESTMENTS, LLC IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER SECTION 29, T19N, R29E, M2DM, WAS PRESENTED TO THE MAYOR AND CITY COUNCIL OF FALLON AT A REGULAR MEETING THEREOF ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022, AND THAT SAID COUNCIL DID AT SAID MEETING APPROVE AND ACCEPT THIS MAP.

CITY CLERK: \_\_\_\_\_ DATE: \_\_\_\_\_

NAME/TITLE PRINTED

**BUREAU OF SAFE DRINKING WATER CERTIFICATE**

THIS FINAL MAPS IS APPROVED BY THE NEVADA DIVISION OF ENVIRONMENTAL PROTECTION OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY AND WATER SUPPLY FACILITIES AND IS PREDICATED UPON PLANS FOR A PUBLIC SUPPLY AND COMMUNITY SYSTEM FOR DISPOSAL OF SEWAGE.

NEVADA DIVISION OF ENVIRONMENTAL PROTECTION \_\_\_\_\_ DATE: \_\_\_\_\_

PRINTED NAME

**UTILITY COMPANIES CERTIFICATE:**

THE UTILITY EASEMENTS SHOWN ON THIS PLAT HAVE BEEN CHECKED, ACCEPTED, AND APPROVED BY THE UNDERSIGNED PUBLIC UTILITY AND CABLE TV COMPANIES.

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
C.C. COMMUNICATIONS

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
CITY OF FALLON

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
FALLON CABLE COMPANY & L.P.,  
L.P.A. CHARTER COMMUNICATIONS

BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
SOUTHWEST GAS COMPANY

**TITLE COMPANY'S CERTIFICATE:**

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT HAS BEEN EXAMINED AND ROCK HOUND INVESTMENTS, LLC AND CURTIS CADWELL ARE OWNERS OF RECORD, AN INTEREST IN THE LANDS DELINEATED HEREON AND THAT THEY ARE THE ONLY OWNERS OF RECORD OF SAID LANDS, THAT ALL THE OWNERS OF RECORD OF THE LAND HAVE SIGNED THE FINAL MAP, THAT THERE ARE NO LIENS OF RECORD AGAINST THE LANDS DELINEATED HEREON FOR THE DELINQUENT STATE, COUNTY, MUNICIPAL, FEDERAL OR LOCAL TAXES OR ASSESSMENTS COLLECTED AS TAXES OF THE COUNTY OF CHURCHILL, STATE OF NEVADA, HAS BEEN ISSUED WITH REGARD TO ALL OF THE ABOVE.

FIRST AMERICAN TITLE

BY: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME AND TITLE

**SURVEYOR'S CERTIFICATE:**

- I, DANIEL T. KELSEO, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA CERTIFY THAT:
- THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF ROCK HOUND INVESTMENTS, LLC.
  - THE LANDS SURVEYED LIE WITHIN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, T. 19 N. R. 29 E., M2DM, COUNTY OF CHURCHILL, STATE OF NEVADA, AND THE SURVEY WAS COMPLETED ON OR APRIL 8, 2021.
  - THIS PLAT COMPLES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL APPROVAL, AND THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE NEVADA ADMINISTRATIVE CODE, CHAPTER 825.
  - THE MONUMENTS DEPICTED ON THIS PLAT ARE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED, AND ARE OF SUFFICIENT NUMBER AND DURABILITY.

DANIEL T. KELSEO, PLS 18974  
EXP. 6/30/23  
FOR AND ON BEHALF OF  
ROCKHOUND ENGINEERING CO., INC.



**RECORDER'S CERTIFICATE:**

FILED FOR RECORD THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2022, AT \_\_\_\_\_ MINUTES PAST \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M., IN THE OFFICIAL RECORDS OF CHURCHILL COUNTY, NEVADA, AT THE REQUEST OF ROCK HOUND INVESTMENTS, LLC.

RECORDING FEE: \$ \_\_\_\_\_ CHURCHILL COUNTY RECORDER

FILE No. \_\_\_\_\_ BY: \_\_\_\_\_

**SUBDIVISION MAP**  
**COUNTRY AIR ESTATES UNIT #6**

DENO A PORTION OF PARCEL 2 AS FILED AS PARCEL MAP 347571 FOR JOHN L. SERPA DATED OCT. 20, 1993

STATE WITHIN A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, T. 19 N., R. 29 E., M2DM, NEVADA

CHURCHILL COUNTY

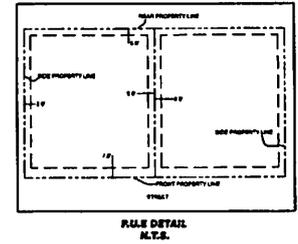
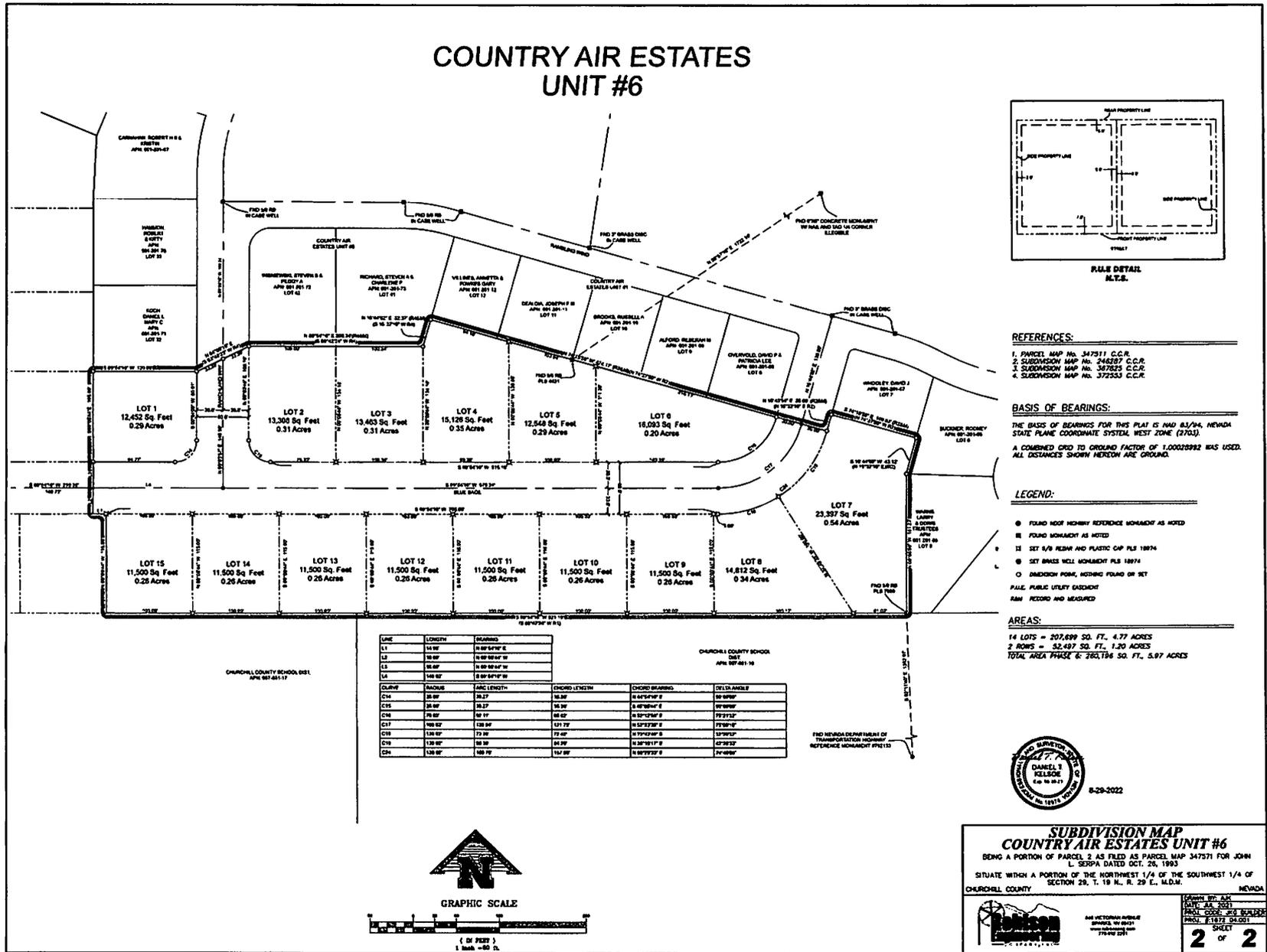
DESIGNED BY: A.R.  
DATE: APR 2021

DRAWN BY: A.R.  
DATE: APR 2021

PLANNED BY: A.R.  
DATE: APR 2021

1  
of 2

# COUNTRY AIR ESTATES UNIT #6



- REFERENCES:**
1. PARCEL MAP No. 347511 C.C.R.
  2. SUBDIVISION MAP No. 246297 C.C.R.
  3. SUBDIVISION MAP No. 367825 C.C.R.
  4. SUBDIVISION MAP No. 372553 C.C.R.

**BASIS OF BEARINGS:**  
THE BASIS OF BEARINGS FOR THIS PLAT IS NAD 83/NA, NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE (2703).  
A COMBINED GRID TO GROUND FACTOR OF 1.00028992 WAS USED. ALL DISTANCES SHOWN HEREON ARE GROUND.

- LEGEND:**
- FOUND MONUMENT REFERENCE MONUMENT AS NOTED
  - FOUND MONUMENT AS NOTED
  - ⊥ SET 6/8 REBAR AND PLASTIC CAP FILE 18974
  - SET BRASS NAIL MONUMENT FILE 18974
  - DIMENSION MARK, NOTHING FOUND OR SET
  - PA, PUBLIC UTILITY EASEMENT
  - RAM RECORD AND MEASURED

**AREAS:**  
14 LOTS = 207,699 SQ. FT., 4.77 ACRES  
2 ROWS = 52,492 SQ. FT., 1.20 ACRES  
TOTAL AREA PHASE 6: 260,196 SQ. FT., 5.97 ACRES

LINE	LENGTH	BEARING	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
L1	14.00'	S 45° 00' 00" E	9.90'	S 45° 00' 00" E	0° 00' 00"
L2	86.00'	S 00° 00' 00" W	86.00'	S 00° 00' 00" W	0° 00' 00"
L3	86.00'	S 60° 00' 00" W	43.00'	S 60° 00' 00" W	0° 00' 00"
L4	148.00'	S 00° 00' 00" W	148.00'	S 00° 00' 00" W	0° 00' 00"
C1	28.00'	S 63.27°	16.30'	S 63° 17' 00" E	0° 10' 00"
C2	28.00'	S 63.27°	16.30'	S 63° 17' 00" E	0° 10' 00"
C3	28.00'	S 63.27°	16.30'	S 63° 17' 00" E	0° 10' 00"
C4	28.00'	S 63.27°	16.30'	S 63° 17' 00" E	0° 10' 00"
C5	126.00'	S 63.27°	72.60'	S 63° 17' 00" E	0° 10' 00"
C6	126.00'	S 63.27°	72.60'	S 63° 17' 00" E	0° 10' 00"
C7	126.00'	S 63.27°	72.60'	S 63° 17' 00" E	0° 10' 00"
C8	126.00'	S 63.27°	72.60'	S 63° 17' 00" E	0° 10' 00"
C9	126.00'	S 63.27°	72.60'	S 63° 17' 00" E	0° 10' 00"
C10	126.00'	S 63.27°	72.60'	S 63° 17' 00" E	0° 10' 00"



GRAPHIC SCALE



**SUBDIVISION MAP**  
**COUNTRY AIR ESTATES UNIT #6**  
BEING A PORTION OF PARCEL 5 AS FILED AS PARCEL MAP 347571 FOR JOHN L. SERPA DATED OCT. 26, 1993  
SITUATE WITHIN A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 29, T. 19 N., R. 29 E., M.D.M.  
CHURCHILL COUNTY NEVADA

DANIEL L. KELSEY  
STATE OF NEVADA  
LICENSE NO. 18716  
8-29-2022

SHEET  
**2**  
OF  
**2**

City of Fallon  
City Council Members  
55 W Williams Ave.  
Fallon, NV 89406

9/16/2022



**Re: Sage Landing Proposed Development**

Dear City Council Members,

I'm writing as a managing member of Diversified Builders LLC who owns a 12.41 acre parcel located between E. Stillwater and New River Parkway East of Harrigan Road described as APN 01-731-09. As a collaborative effort with Summit Building Group LLC, we are pleased to present to City Council *Sage Landing* development.

Sage landing is a planned 132-unit townhome community consisting of four and six plex style townhomes in a modern farmhouse aesthetic. The community has been designed to create a seamless transition with the surrounding single-family community. Summit Building Group and its design/engineering team has worked diligently to create a site layout that incorporates drainage basins as a beatified amenity, creating walking paths that tie community spaces together and creating an upscale community within the community that will bring added value to the City of Fallon. This community addresses a desperate need for quality housing within Fallon, NV and the greater Churchill County. This product type will serve our working-class individuals and families, strengthening our local economy and giving our friends and neighbors a beautiful place to call home.

It's been a pleasure getting to know the people behind Summit Building Group. They are truly concerned about the quality of product they bring to each market they serve. The tentative site map being submitted is evidence of a quality affordable housing need for our community. As the current property owner and longtime Fallon Resident I'm pleased to present Sage Landing for your consideration on behalf of Summit Building Group.

Sincerely,

A handwritten signature in cursive script that reads "Daniel Munoz".

Daniel Munoz

Managing Member

Diversified Builders LLC



NEVADA DIVISION OF  
**ENVIRONMENTAL  
PROTECTION**

STATE OF NEVADA  
Department of Conservation & Natural Resources

Steve Sisolak, *Governor*  
James R. Lawrence, *Acting Director*  
Greg Lovato, *Administrator*

August 18, 2022

Adrian Noriega  
City of Fallon  
Deputy Public Works Director  
55 West Williams Ave.  
Fallon, NV 89406

Re: Civil Improvement Plans – County Air Estates – Phase 6  
14 Residential Lots in Fallon, Churchill County, Nevada

Dear Mr. Noriega:

The Nevada Division of Environmental Protection (NDEP) has reviewed the Improvement Plans for the above-reference subdivision and recommends approval of said plans with respect to water pollution and sewage disposal provided that the City of Fallon commits to provide sewage and water service to said projects.

The NDEP has no further comments regarding sewage appurtenances. Construction of sewage collection appurtenances for the proposed projects must be performed in accordance with applicable standards and regulations. Information for water project improvements has been determined by the Bureau of Safe Drinking Water (BSDW) to be satisfactory.

The water project is hereby approved for construction only. Approval for construction is based on the most recent submittal received by BSDW. In accordance with NAC 445A.6671, work on a water project must commence not later than 1 year after the water project is approved. The water project must be completed not later than 1 year after the date that work on the project has commenced, except that BSDW may extend this period in 1-year increments if work is being performed on the water project and BSDW receives a schedule of work and periodic updates on the progress of the water project.

Per NAC 445A.66715, work performed on a water project must be performed in substantial compliance with the plans and specifications approved by BSDW. In addition, any major changes to these plans during construction, which would affect the quality or quantity of water, must be submitted to BSDW for review and approval.

Work on a water project must be inspected by qualified representatives of the supplier of water. The supplier of water, or a third party acceptable to BSDW, must ensure that the project is built according to the approved plans and specifications. **Written verification must be submitted to BSDW no later than 30 days following completion of the project in accordance with NAC 445A.66715.**

As a reminder, please note the following pertinent regulations:

Per NAC 445A.67145 (6), **a water main must not be placed into service until:**

1. The water main has been disinfected in accordance with AWWA Standard C651.
2. Analyses of the water main which indicate that the water meets primary drinking water standards for coliform bacteria (absent for coliform bacteria) have been obtained and reported to BSDW. Per AWWA Standard C651, two sets of consecutive samples must be taken from every 1200 feet of main, at the end of the line, and from each branch.

**The proposed improvements must not be placed on-line until BSDW has reviewed and approved the above items and given the public water system approval to do so.**

All potable water projects require ANSI/NSF certified products. It is the responsibility of the design engineer, the owner, and the contractor to ensure ANSI/NSF certification (or approved exception) for all products that come into contact with drinking water. Future inspections of the water project may require the removal and replacement of system components that do not meet these requirements. Findings of violations, including fines and penalties, may also be considered.

The review or approval of water system plans, design drawings, design specifications, or other documents by NDEP is for administrative purposes only, and does not relieve the water system owner, engineer, and/or operator from the requirement to properly design, build, effectively operate, and maintain the facilities as required under law, regulations, permits, and best management practices. NDEP is not responsible for increased costs resulting from defects in design plans, specifications, or other pertinent documents.

Please note that the discharge of chlorinated water as well as any required trench dewatering may be subject to permitting requirements by the Nevada Division of Environmental Protection – Bureau of Water Pollution Control (BWPC). For more information, please contact BWPC at (775) 687-9418.

Prior to the construction of any project, the developer may need to obtain certain permits and authorizations, which may include, but are not limited to the following:

- Dam Safety Permits – Nevada Division of Water Resources
- Water Rights and Well Drilling – Nevada Division of Water Resources
- 404 Permits – U.S. Army Corp of Engineers
- Air Quality Permits – Local Government, County, or State Health Division
- Health Permits – Local Government, County, or State Health Division
- Construction Stormwater Permit – Nevada Division of Environmental Protection
- Dewatering Permit – Nevada Division of Environmental Protection
- Water Pollution Control Discharge Permit – Nevada Division of Environmental Protection

Country Air Estates  
August 18, 2022  
Page 3 of 3

If you have any construction completion reports, construction completion extension requests, questions, or comments, please contact Alexi Lanza at (775) 687-9503 or [alanza@ndep.nv.gov](mailto:alanza@ndep.nv.gov).

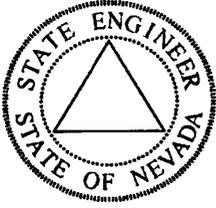
Sincerely,



Ryan Fahey, SEII  
Technical Services, Compliance, and Enforcement  
Bureau of Water Pollution Control

ec: Andrea Seifert, P.E., Chief, BSDW  
Alexi Lanza, P.E., BSDW  
Alisha Auch, P.E., BSDW  
Rebecca Bernier, P.E., Robison  
Adrian Noriega, City of Fallon  
Juan Andrade, BSDW  
Katrina Pascual, P.E., BWPC  
Derek Zimney, P.E., City of Fallon  
Debra Winter, BSDW  
Brendon Grant, P.E., BSDW

BWPC Subdivision Control No. S14727  
BSDW Project No. CH-0006977-22



STATE OF NEVADA  
Department of Conservation and Natural Resources  
Steve Sisolak, Governor  
Jim Lawrence, Acting Director  
Adam Sullivan, P.E., State Engineer

Nevada Division of  
**WATER RESOURCES**

DATE

**To:** Andrea Roegiers  
Project Professional  
Robison Engineering Company, Inc.  
846 Victorian Avenue, Suite 20  
P. O. Box 1505  
Sparks, NV 89432

**Re:** Final Subdivision Review No. 3719-F Permit 19859

**Name:** Country Air Estates Phase 6

**County:** Churchill County – City of Fallon, Cemetery Road and Rambling Wind Drive

**Location:** A portion of Sections 29 & 30, Township 19 North, Range 29, East, MDB&M.

**Plat:** Final: Fourteen (14) lots, common areas, and rights-of-way totaling approximately 16.48 acres and being Churchill County Assessor's Parcel Number 001-061-29.

**Water Service  
Commitment**

**Allocation:** 6.58 acre-feet annually has been allocated from the City of Fallon Permit 19859 based on a demand of 0.47 acre-feet annually for single family dwellings. No water has been allocated for landscaping.

**Owner-  
Developer:** Rockhound Investments, LLC  
115 Katie Drive  
Spring Creek, NV 89815

**Engineer:** Rebecca C. Bernier, P.E.  
Robison Engineering Company, Inc.  
846 Victorian Avenue, Suite 20  
P. O. Box 1505  
Sparks, NV 89432

Robison Engineering Company, Inc.

DATE  
Page 2

**Water  
Supply:** City of Fallon Public Works

**General:** A subdivision map was presented and approved by this office on DATE as described on the **Country Air Estates Phase 6** map.

Correspondence dated June 14, 2022 from the City of Fallon and signed by Derek Zimney, P.E., City Engineer, City of Fallon, to the Division of Water Resources states that the City of Fallon will serve water to the subject subdivision. This letter is a matter of public record on file in the Office of the Division of Water Resources.

As provided in Nevada Revised Statutes (NRS) 278.377, a copy of this certificate must be furnished to the subdivider who in turn shall provide a copy of the certificate to each purchaser of land before the time the sale is completed. Any statement of approval is not a warranty or representation in favor of any person as to the safety or quantity of such water.

**Action:** Approved concerning water quantity as required by statute for **Country Air Estates Phase 6** subdivision based on water service by City of Fallon Public Works.

Best regards,

Malcolm J. Wilson, P.E.  
Manager II

MJW/mw  
cc: Division of Real Estate  
Public Utilities Commission of Nevada  
City of Fallon Public Works  
Rockhound Investments, LLC



Know what's below.  
Call before you dig.

# COUNTY AIR ESTATES PHASE 6 IMPROVEMENT PLANS FOR ROCK HOUND INVESTMENTS

COUNTY AIR ESTATES  
PHASE 6 IMPROVEMENT PLANS  
SHEET 11  
TITLE SHEET

## PROJECT SUMMARY

**JURISDICTION:** CITY OF FALLON  
**CITY:** CHURCHILL COUNTY  
**APN:** 021-021-28  
**ADDRESS:** NO ADDRESS AVAILABLE  
**ADDRESS PLAN:** RTH  
**ZONE:** "C" (UNSHADED) - AREA OF MINIMAL FLOOD HAZARD  
**FORM FLOOD ZONE:** GRADING, UTILITIES, AND ROAD IMPROVEMENTS TO ACCOMPANY PHASE 6 FINAL MAP  
**PROJECT SUMMARY:** 164W (80% FOR PHASE 6)  
**PROJECT ACREAGE:** PARTIALLY LOCATED WITHIN THE NW 1/4 OF SW 1/4 OF S27 T19N R22E, MDN, AND NE 1/4 OF SW 1/4 OF S23 T19N R22E  
**PROJECT LOCATION:** PARTIALLY LOCATED WITHIN THE NW 1/4 OF SW 1/4 OF S27 T19N R22E, MDN, AND NE 1/4 OF SW 1/4 OF S23 T19N R22E  
**DRAINING WATER:** COMMUNITY  
**WASTEWATER:** COMMUNITY

## SHEET LIST

**CRS:**  
**T1:** TITLE SHEET  
**C1:** OVERALL SITE PLAN  
**C2:** GRADING PLAN  
**C3:** BLUE BACK PLAN AND PROFILE  
**D1:** DETAILS  
**D2:** DETAILS  
**D3:** DETAILS  
**D4:** DETAILS  
**D5:** DETAILS  
**D6:** DETAILS  
**D7:** DETAILS

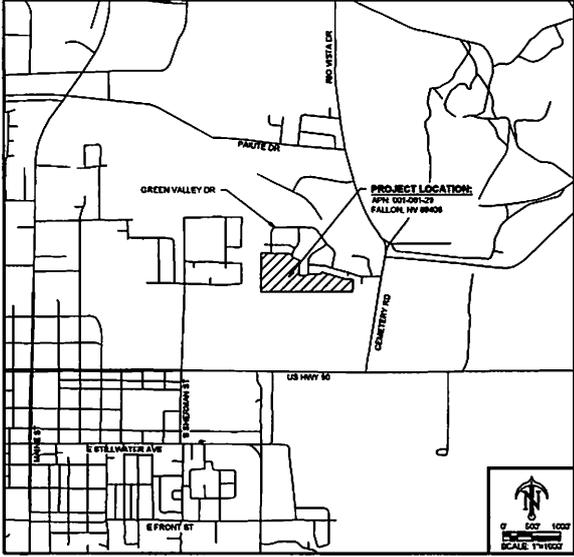
## PROJECT AUTHORITY

**CIVIL ENGINEER:**  
ROBSON ENGINEERING COMPANY  
REBECCA C. CORNER, P.E.  
846 VICTORIAN AVE, SUITE 20  
SPARKS, NV 89431  
(775) 652-2251 x 727  
rebecca@robsoneng.com

**SURVEYOR:**  
DK SURVEY, INC  
DAN KELSOE, PLS. S  
2035 WOODHAVEN LANE  
SPARKS, NV 89434  
(775) 760-0564  
dk@dkurvey.com

**OWNER:**  
ROCK HOUND INVESTMENTS LLC  
115 KATIE DRIVE  
SPRING CREEK, NV 89815  
(702) 691-1519  
hr@rockhoundinvestments.com

## VICINITY MAP



## NOTES

- GENERAL NOTES:**
- THESE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES, AND ARE BELIEVED TO BE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, AND ORDINANCES OR STANDARDS SPECIFIED BY THE PERMITTING JURISDICTION. IN THE EVENT OF A CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND PERMITTING STANDARDS, PROMPTLY NOTIFY ENGINEER, OR ADOPT THE MORE CONSERVATIVE STANDARD CONSISTENT WITH THE INTENT OF THE PLANS. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR BEARS SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
  - IF THE CONTRACTOR OBSERVES ANY CONDITION ON THE SITE WHICH CONFLICTS WITH THE INFORMATION SHOWN HEREON, THEY SHALL CONTACT ROBSON ENGINEERING AT 775-652-2251 FOR RESOLUTION.
  - THE ENGINEER SHALL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS, ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER.
  - IN THE EVENT ELECTRONIC FILES (CAD, ETC) ARE PROVIDED BY ROBSON ENGINEERING, AN INDICATION AGREEMENT IS IMPLIED BY THAT USE, AND IF THERE IS ANY CONFLICT BETWEEN ELECTRONIC DATA AND THE STAMPED/PERMIT PLAN SET, THE STAMPED DRAWINGS SHALL GOVERN AND DIRECT THE WORK, IT IS THE SOLE RESPONSIBILITY OF THE CLIENT TO OBTAIN APPROVED PLANS FROM THE GOVERNING JURISDICTION.
  - THE CONTRACTOR SHALL VERIFY IN FIELD ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJACENT PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
  - CONTACT "TUBA NORTH #1" BY CALLING THAT NUMBER (8-1-1) NO LESS THAN 2 WORKING DAYS BEFORE EXCAVATION IS PROPOSED TO BEGIN.
- EROSION AND SEDIMENT CONTROL NOTES:**
- TOTAL DISTURBANCE AREA IS EXPECTED TO EXCEED 1 ACRE, THEREFORE A STEEP-SLOPE STORAGE/TERRACE POLLUTION PREVENTION PLAN (SSPPP) IS ANTICIPATED TO BE REQUIRED. THE CONTRACTOR SHALL BE AWARE OF AND ADDRESS DUE EFFORT TO CONFORM TO AT LEAST:
    - THE STATE OF NEVADA GENERAL PERMIT NVR100003
    - CITY OF FALLON STORMWATER PROTECTION ORDINANCES AND STANDARDS
 ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED BY THE OWNER AND HIS OR HER AGENTS DUE TO UNFORSEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED BY CITY OF FALLON.
- TOPOGRAPHIC MAP NOTES:**
- THIS MAP IS PREPARED TO ILLUSTRATE TOPOGRAPHY AND FEATURES FOR ARCHITECTURAL AND ENGINEERING PLANNING AND DESIGN ONLY. THIS INFORMATION SHALL BE CONSIDERED TO REPRESENT A FORMAL SURVEY OF THE SUBJECT PROPERTY, OR TO RECORD ANY COMMON TOWN, COUNTY, OR STATE RECORD.
  - BASES OF BEARINGS: THE BASIS OF BEARINGS FOR THIS PLAN IS NAD 83/NA NEVADA STATE PLANE COORDINATE SYSTEM WEST ZONE, BASED ON TIES TO THE CHURCHILL COUNTY CONTROL POINTS SHOWN HEREON, A COMBINED GRID TO GROUND FACTOR OF 1.0002882 WAS USED. ALL DISTANCES SHOWN HEREON ARE GROUND.
- PRODUCT NOTES:**
- ALL CONSTRUCTION NOT OTHERWISE DETAILED OR SPECIFIED SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC, ORANGE BOOK) ADOPTED BY CITY OF FALLON.
  - REFER TO CIVIL IMPROVEMENT PLANS FOR ADDITIONAL INFORMATION ON SITE, UTILITY, GRADING AND DRAINAGE, AND EROSION AND SEDIMENT CONTROL.
  - IF THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION, IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR RESOLUTION.
  - SUBMITTALS INCLUDING SHOP DRAWINGS, MANUFACTURER'S DATA SHEETS, MATERIALS AND COLOR SAMPLES, AND DELIVERED MATERIALS OR PRODUCTS (ROOFING, ETC.) WITHOUT EXCEPTION, SHALL BE OBTAINED FOR REVIEW AND APPROVAL. (DO NOT OBTAIN FROM THE SUPPLIER INTO THE PROJECT). THESE QUANTITATIVE ADJUSTMENTS IS REQUIRED (E.G. MATERIALS WITH SPECIFIED STRENGTH, WEIGHT, LONGEVITY, CLASSIFICATION, ETC.) THESE MATERIAL SPECIFICATIONS SHALL BE PROVIDED TO THE PROFESSIONAL AUTHORITY (E.G. PLUMBING, CIVIL ENGINEER, ETC.) RESPONSIBLE FOR THEIR SUITABILITY FOR THE SPECIFIED USE.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DAILY REMOVAL OF ALL CONSTRUCTION MATERIALS SPILLED ON PAVED STREETS, CURBS, AND OFF-SITE.
  - THE CONTRACTOR SHALL PROTECT THE WORK IN A CONTINUOUS AND OBLIGENT MANNER CONFORMING TO ALL THE PERTINENT SAFETY REGULATIONS TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
  - THE CONTRACTOR SHALL NOTIFY ALL ENTITIES INVOLVED (PUBLIC AND PRIVATE), 48 HOURS PRIOR TO BEGINNING CONSTRUCTION, AND PROVIDE 48 HOURS PRIOR NOTICE FOR ALL SURVEYING AND INSPECTIONS DURING CONSTRUCTION.
  - THE WORK IN THIS CONTRACT INCLUDES ALL ON-SITE AND OFF-SITE WORK SHOWN ON THESE DRAWINGS, DESCRIBED IN THE SPECIFICATIONS, OR REASONABLY IMPLIED.
  - THE CONTRACTOR SHALL AT ALL TIMES DURING CONSTRUCTION, PROTECT FROM DAMAGE EXISTING IMPROVEMENTS ON AND AROUND THE SITE, INCLUDING, BUT NOT LIMITED TO, PAVEMENT, CURBS & GUTTERS, BENCH MARKS, LANDSCAPING, BENCH MARKS, UTILITY LOCATIONS AND ALL UTILITIES. THE CONTRACTOR SHALL ASSUME SOLE RESPONSIBILITY FOR THE REPAIR OF ANY IMPROVEMENTS (EXISTING OR PROPOSED) DAMAGED THROUGHOUT THE COURSE OF CONSTRUCTION.
  - THE CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES EMERGENCY ACCESS TO THE PROJECT SITE TO THE SATISFACTION OF THE FIRE CONTROL AGENCY.
  - ALL QUANTITIES SUPPLIED WITH THESE PLANS ARE APPROXIMATE AND USED FOR PERMIT AND BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT QUANTITY TAKEOFFS FOR BIDDING AND CONSTRUCTION PURPOSES.
  - ALL MATERIALS THAT COME IN CONTACT WITH THE WATER SYSTEM MUST BE NSF61 CERTIFIED.
  - PVC WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD C900.
  - ALL WATER MAINS SHALL BE DESIGNED IN ACCORDANCE WITH AWWA STANDARD C900 PRIOR TO BOND PURPOSES ONLY. THEY SHALL NOT BE USED IN ANY WAY FOR BIDDING OR CONSTRUCTION. THESE RESULTS SHALL BE SUBMITTED TO HCDP.
  - PRIOR TO DIGGING WORK EACH DAY CONTRACTOR SHALL EXCURE ANY OBSTRUCTIONS IN UNDESIRED PIPING OR APPLICABLE CHANGES ARE MADE IN SUCH A MANNER AS TO PREVENT THE ENTRY OF BIRDS, OTHER ANIMALS, DIRT, TRENCH WATER AND OTHER SOURCES OF POLLUTION OF CONTAMINATION.
- GRADING NOTES:**
- ALL EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH CITY OF FALLON REQUIREMENTS.
  - THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND MAINTAIN CONFORMITY WITH THE CITY OF FALLON.
  - CONTRACTOR SHALL CAREFULLY INSPECT DETAILS, THE CONTEXT OF PLANS, AND MAKE APPROPRIATE CORRECTING MEASUREMENTS AGAINST EXISTING CONDITIONS PRIOR TO SETTING SUBGRADE, AND SHALL COORDINATE WITH SURVEYOR TO SET ELEVATION AND LOCATION CONTROL, PROPERLY TO ESTABLISH SUBGRADE PRIOR TO FINAL SURFACE TREATMENT.
  - ALL MATERIAL VENTILATION OUTSIDE OF DISTURBANCE LIMITS TO BE PRESERVED. ADDITIONAL DISTURBANCE NOT PART OF PLANNED LANDSCAPING SHALL BE STABILIZED, BRUSHCUT AND RANDED DURING OCTOBER-NOVEMBER, OR HYDROSEEDED IN COORDINATION WITH, AND SUBJECT TO APPROVAL BY PROPERTY OWNER.
  - USE EXTREME CARE WHEN WORKING AROUND EXISTING UTILITIES AND EXISTING ROADS.
  - THE CONTRACTOR SHALL NOTIFY OWNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK AND ONLY AFTER A PRE-CONSTRUCTION MEETING BETWEEN OWNER, ENGINEER OF RECORD, MATERIALS TESTING LABORATORY, AND GENERAL CONTRACTOR HAS OCCURRED.
  - THE INSPECTION AND TESTING OF SOILS AND ALL OTHER MATERIALS SHALL BE IN CONFORMANCE WITH CITY OF FALLON, ORANGE BOOK STANDARDS AND SITE SPECIFIC SOILS REPORT AS APPLICABLE. THIRD PARTY TESTING AGENCY SHALL BE NOTIFIED 24 HOURS PRIOR TO RESUMED TESTING.
  - IF SHOULD ANY PRE-HISTORIC OR HISTORIC REMAINS OR ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION DEPARTMENT SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE DETERMINED BY CONSULTATION WITH THE APPROPRIATE JURISDICTION.

## LEGEND

SUBJECT PL. (P) AC  
 --- --- --- (P) PCC  
 --- --- --- (P) ROAD CL  
 --- --- --- (P) MAJOR CONTOUR  
 --- --- --- (P) MINOR CONTOUR  
 --- --- --- (P) MAJOR CONTOUR  
 --- --- --- (P) MINOR CONTOUR  
 --- --- --- (P) EMBANKMENT  
 --- --- --- (P) STORM DRAIN  
 --- --- --- (P) WATER LINE

## ABBREVIATIONS

AC	ASPHALT CONCRETE	FL	FLOWLINE
APN	ASSESSOR'S PARCEL NO.	HPPE	HIGH DENSITY POLYETHYLENE
ASPH/CONC	BACK OF WALK	IE	INVERT ELEVATION
CMP	CORRUGATED METAL PIPE	LE	LINEAR FEET
COTD	CLEAN OUT TO GRADE	MOD	MAZULAN DRY DENSITY
CL	CENTER LINE	NDOT	NV DEPT. OF TRANSPORTATION
CLD	CURB YARD	ONE	OVERHEAD ELECTRICAL
CO	EXISTING GRADE	P	PROPOSED
FDC	FIRE DEPT. CONNECTION	PCC	PORCELANO CEMENT CONCRETE
PFC	FRONT FACE OF CURB	PV	PRESSURE INDICATOR VALVE
FIE	FRESH FILL ELEVATION	POC	POINT OF CONNECTION
FO	FRESH GRADE	PUE	PUBLIC UTILITY EASEMENT
FR	FRESH GRADE	PVC	POLYVINYL CHLORIDE
		ROW	RIGHT-OF-WAY

PREPARED FOR:  
ROCK HOUND INVESTMENTS  
115 KATIE DRIVE  
SPRING CREEK, NV 89815  
(702) 691-1519  
hr@rockhoundinvestments.com

DATE: 04/20/2023



NO.	DATE	BY	CHANGED	DESCRIPTION
1	04/20/23	REB	ISSUED FOR PERMIT REVIEW	ISSUED FOR PERMIT REVIEW
2	04/20/23	REB	VALUE ENGINEERING	VALUE ENGINEERING
3	04/20/23	REB	FULLY COMMENT RESPONSE	FULLY COMMENT RESPONSE
4	04/20/23	REB	ISSUED FOR PERMIT REVIEW	ISSUED FOR PERMIT REVIEW
5	04/20/23	REB	RESPONSES/REVISIONS TO BEAD	RESPONSES/REVISIONS TO BEAD

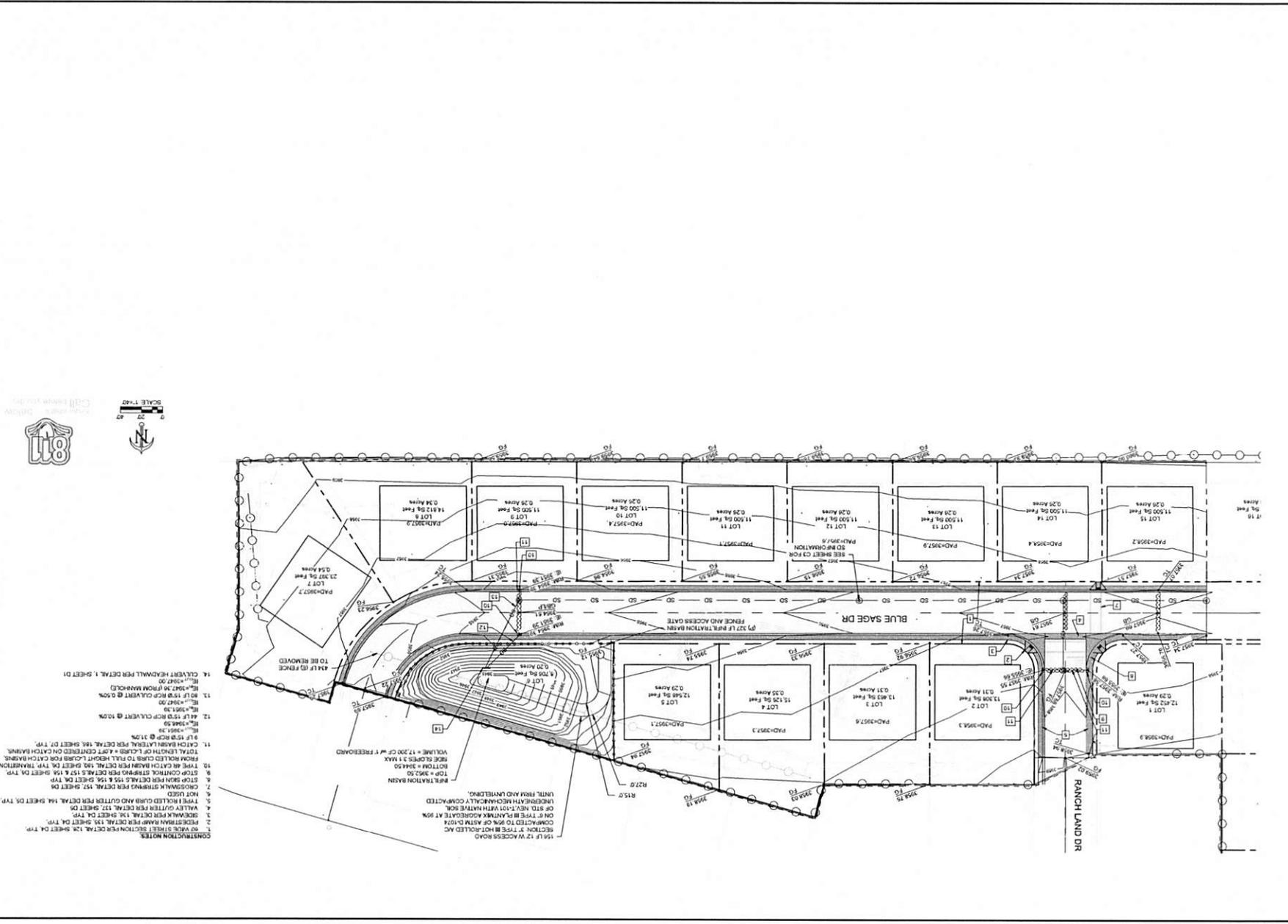
REVISIONS

APPROVALS

T1

SHEET 11 OF 11





- CONSTRUCTION NOTES**
1. 15' WIDE ROAD
  2. COMPACT TO 90% OF ASTM D 1557
  3. ON 17% SLOPE WITH NATIVE SOIL
  4. ON 17% SLOPE WITH NATIVE SOIL
  5. 12" RIGIDLY MECHANICALLY COMPACTED
  6. UNTIL FIRM AND UNSETTLING
  7. RECONSTRUCTION BASIN
  8. VOLUME = 17,200 CF OF FREEDBOARD
  9. 100% RCP CULVERT @ 100%
  10. STOP CONTROL STRIPPER PER DETAIL 154 & 154A SHEET DA TYP
  11. FROM 80' CATCH BASIN PER DETAIL 154 SHEET DA TYP
  12. TOTAL LENGTH OF CURB = 487' CENTERED ON CATCH BASIN
  13. 12" RCP CULVERT @ 100%
  14. 12" RCP CULVERT @ 100%
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REVISIONS		DATE		BY		CHKD	
NO	DESCRIPTION	DATE	BY	CHKD	NO	DESCRIPTION	DATE
1	ISSUED FOR PERMIT REVIEW	07/25/22	...	...	1	ISSUED FOR PERMIT REVIEW	07/25/22
2	VALUE ENGINEERING RESPONSE	07/25/22	...	...	2	VALUE ENGINEERING RESPONSE	07/25/22
3	ISSUED FOR IMPROVEMENT PLANS	07/25/22	...	...	3	ISSUED FOR IMPROVEMENT PLANS	07/25/22
4	RESPONSES/REVISIONS TO USER	07/25/22	...	...	4	RESPONSES/REVISIONS TO USER	07/25/22

**COUNTRY AIR ESTATES**  
**PHASE 6 IMPROVEMENT PLANS**

SHEET C2  
GROUND PLAN

NEVADA

DATE OF PLAN: 07/25/22  
DESIGNED BY: ...  
CHECKED BY: ...

PREPARED FOR:  
**ROCK HOUND INVESTMENTS**  
145 Cedar St.  
Spring Valley, NV 89415  
775-361-1519

DESIGNED BY:  
**DAVID L. LUTZ**  
DATE: 07/25/22

SCALE: 1"=40'

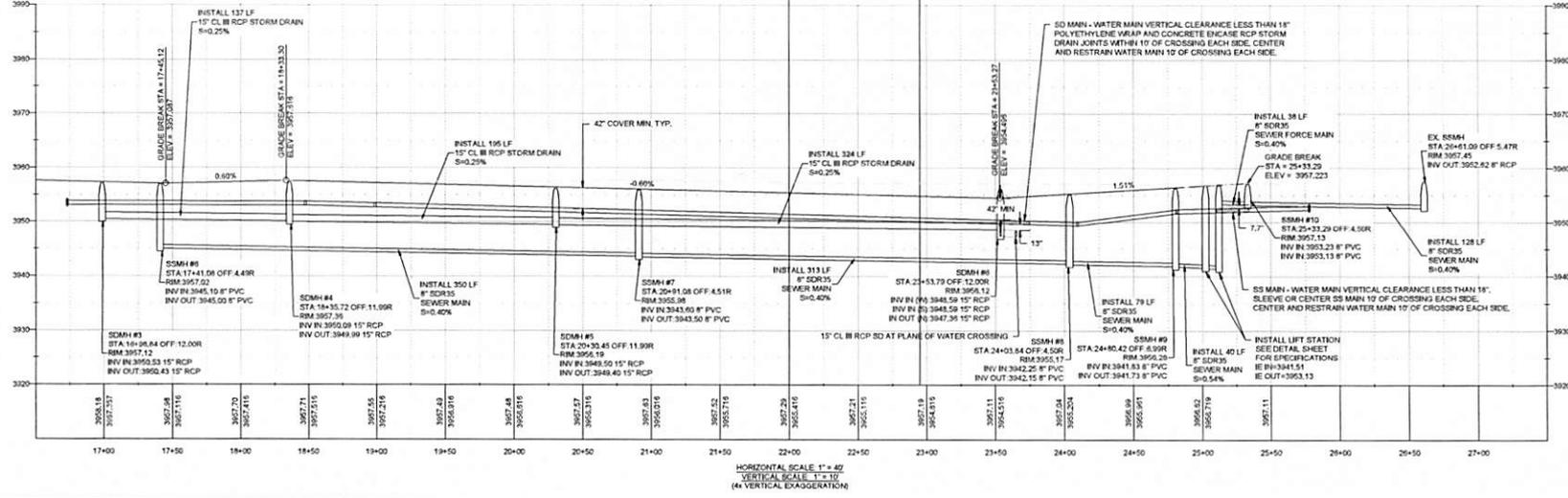
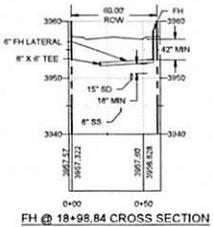
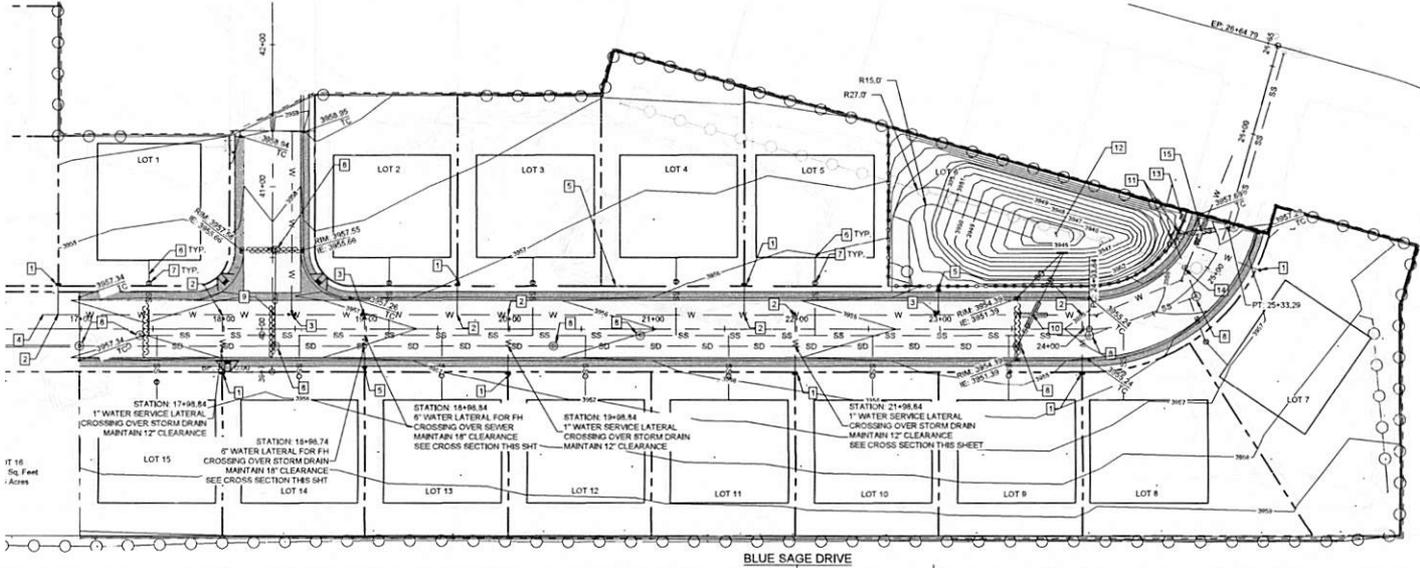
SHEET 3 OF 11  
C2

APPROVALS

- CONSTRUCTION NOTES:**
- 3/4" WATER METER PER DETAIL 17, SHEET D2
  - WATER SERVICE CONNECTION PER DETAIL 20, SHEET D2
  - 6x6x1 TEE PER DETAIL 21 & 28, SHEET D3
  - FLUSH VALVE ASSEMBLY PER DETAIL 25, SHEET D2
  - FIRE HYDRANT ASSEMBLY PER DETAIL 26 & 30, SHEET D3
  - 4" SEWER LATERAL CONNECTION PER DETAIL 86, SHEET D3
  - SANITARY SEWER LATERAL CLEANOUT PER DETAIL 82, SHEET D3
  - TYPE 1A MANHOLE PER DETAIL 89, 94 & 99, SHEET D3
  - STORM DRAIN MAIN CROSSING UNDER WATER MAIN PER DETAIL 103, SHEET D4
  - MINIMUM VERTICAL CLEARANCE FROM BOTTOM OF WATER MAIN TO TOP OF 50" MAIN = 1' @ CROSSING, NO SPECIAL CONSTRUCTION REQUIRED.

- STORM DRAIN MAIN CROSSING UNDER WATER MAIN PER DETAIL 103, SHEET D4
- APPROXIMATE VERTICAL CLEARANCE FROM BOTTOM OF WATER MAIN TO TOP OF 50" MAIN = 1' @ CROSSING, SPECIAL CONSTRUCTION REQUIRED. SEE PROFILE.
- INSTALL 55' LEFT STATION, SEE DETAIL 248-DV, SHEET D7
- A PERCOLATION TEST SHALL BE CONDUCTED DURING GRADING OPERATIONS AT BOTTOM OF POND. RESULTS SHALL BE PROVIDED TO THE CITY OF FALLON FOR REVIEW AND ACCEPTANCE.
- ELECTRICAL SERVICE
- SEWER MAIN CROSSING UNDER WATER MAIN PER DETAIL 103, SHEET D4
- MINIMUM VERTICAL CLEARANCE FROM BOTTOM OF WATER MAIN TO TOP OF 50" MAIN = 1' @ CROSSING, NO SPECIAL CONSTRUCTION REQUIRED.

- SEWER MAIN CROSSING UNDER WATER MAIN PER DETAIL 103, SHEET D4
- MINIMUM VERTICAL CLEARANCE FROM BOTTOM OF WATER MAIN TO TOP OF WATER MAIN = 6" @ CROSSING, SPECIAL CONSTRUCTION REQUIRED. SEE PROFILE.



**COUNTRY AIR ESTATES**  
**PHASE 6 IMPROVEMENT PLANS**  
SHEET C3  
BLUE SAGE PLAN AND PROFILE SHEET

PREPARED FOR:  
**ROCK HOUND INVESTMENTS**  
1111 S. Main St.  
Spring Creek, NV  
707-991-1519

DRAWN BY:  
DATE: 01/20/2022

REVISIONS:

NO.	DATE	BY	DESCRIPTION
1	01/20/2022	LAD	ISSUED FOR PERMIT REVIEW
2	01/20/2022	RCB	VALUE ENGINEERING
3	01/20/2022	RCB	FALCON COMMENT RESPONSE
4	01/20/2022	LAD	ISSUED FOR RDP REVIEW
5	01/20/2022	RCB	RESPONSE TO RDP COMMENTS

APPROVALS:

**C3**  
SHEET 4 OF 11

**GENERAL NOTES FOR ALL DETAILS**

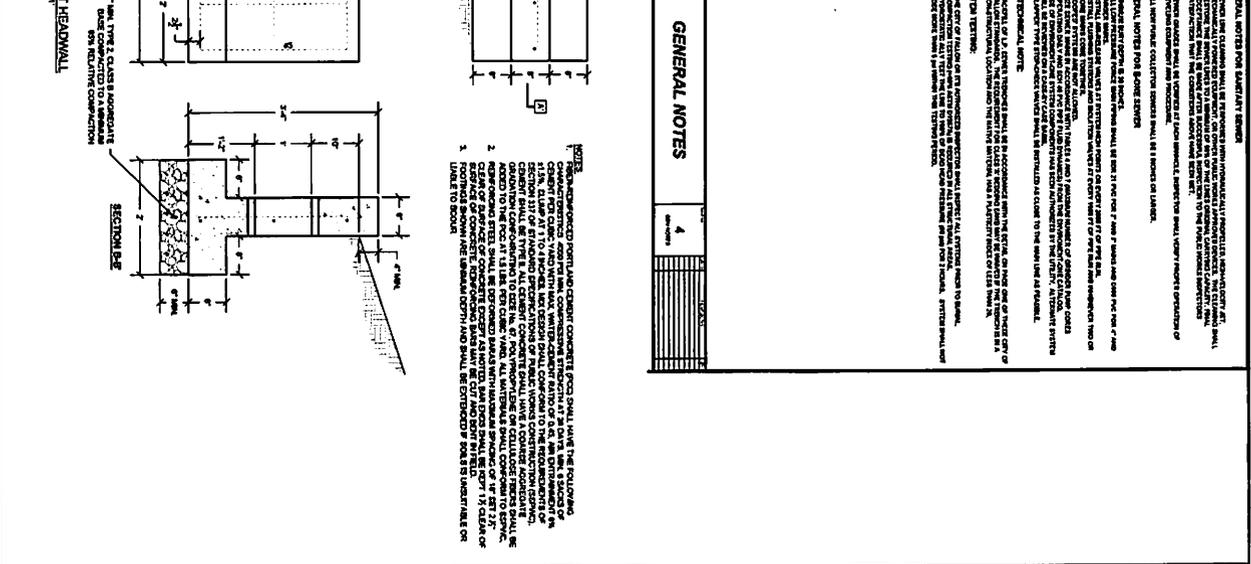
1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
6. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
8. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
10. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.

**GENERAL NOTES FOR CONCRETE WORK**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
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9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
10. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.

**GENERAL NOTES FOR BRICKWORK**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FALLOON.
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10. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SPECIFICATIONS FOR CONSTRUCTION OF BRICKWORK AND CONCRETE WORK.

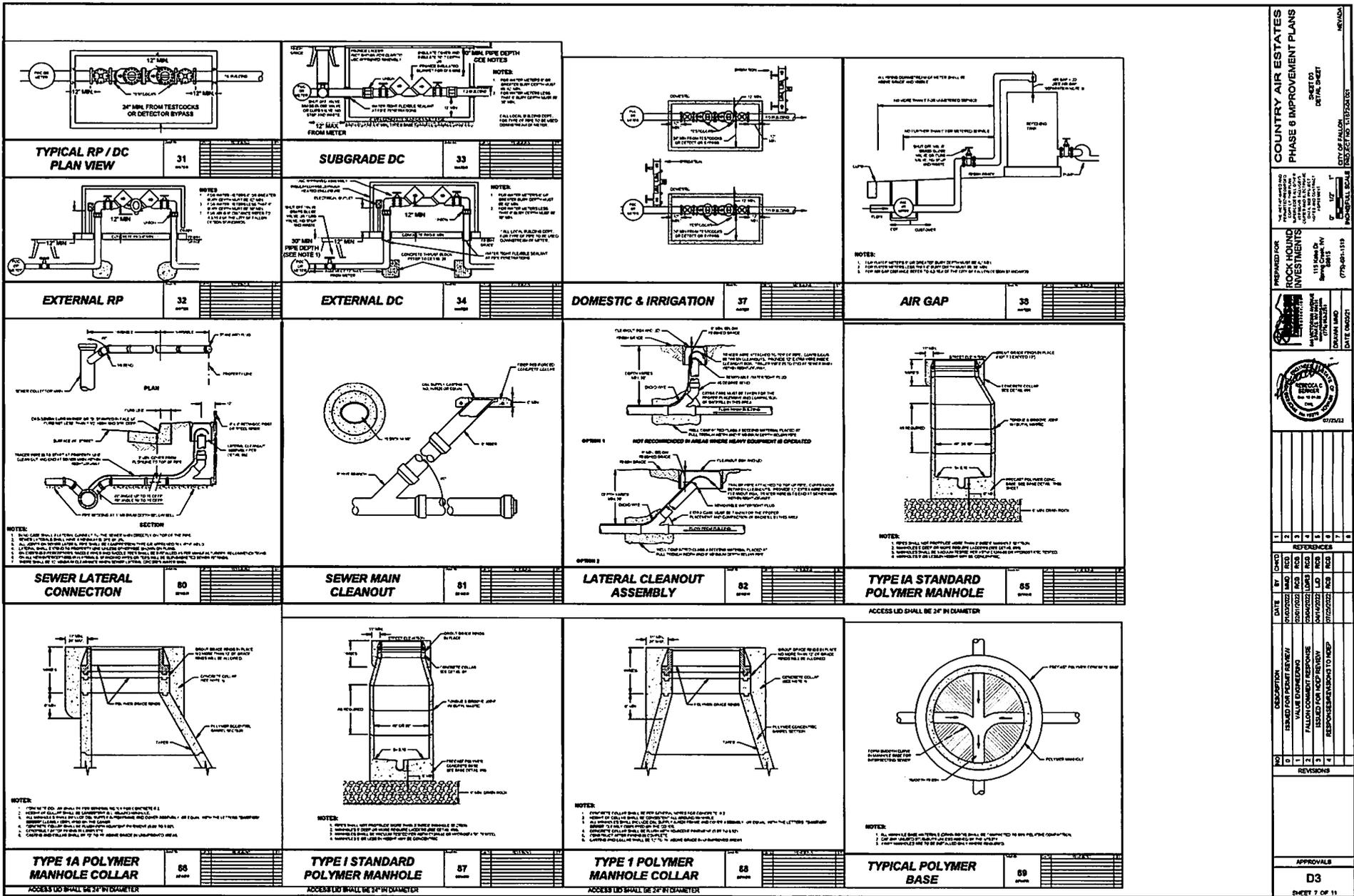


NO.	DESCRIPTION	DATE	BY	CHKD
1	ISSUED FOR PERMIT REVIEW	01/23/2022	MMD	RCB
2	VALUE ENGINEERING	02/04/2022	LOH	RCB
3	FALLOON COMMENT RESPONSE	04/12/2022	LJD	RCB
4	ISSUED FOR NOOP REVIEW	07/29/2022	RCB	RCB
5	RESPONSES/REVISIONS TO NOOP			

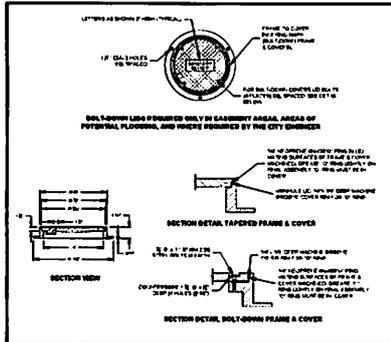
PREPARED FOR: ROCK HOUND INVESTMENTS  
 115 Main St, Fallon, NV 89515  
 (775) 431-1519  
 DRAWN AND DATE: 08/03/21

**COUNTRY AIR ESTATES**  
**PHASE 6 IMPROVEMENT PLANS**  
 SHEET D1  
 DETAIL SHEET  
 PROJECT NO. 1-037-04-001

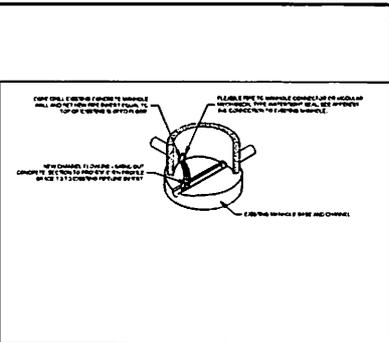




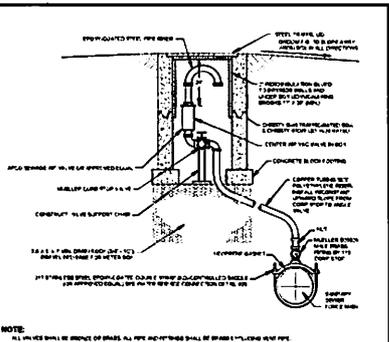
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PREPARED FOR <b>ROCK HOUND INVESTMENTS</b> 115 Lake Dr. Spring Creek, NV 89701 (775) 491-1519	DATE: 08/20/23
PROJECT NO: 23-001 SHEET NO: D3	
REVISIONS	
DATE BY CHECKED APPROVED	REVISIONS
APPROVALS <b>D3</b> SHEET 7 OF 11	



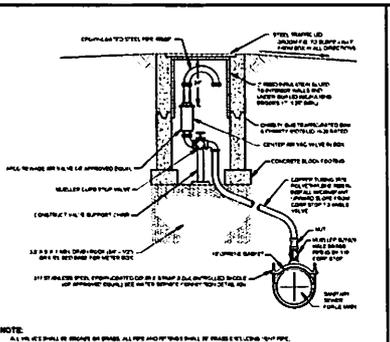
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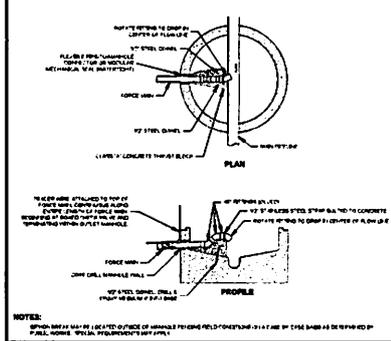
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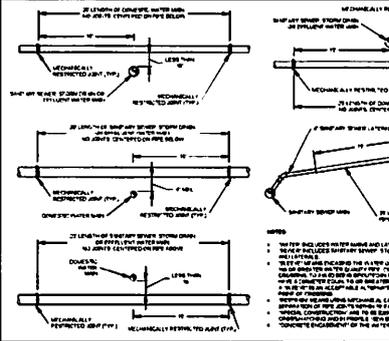
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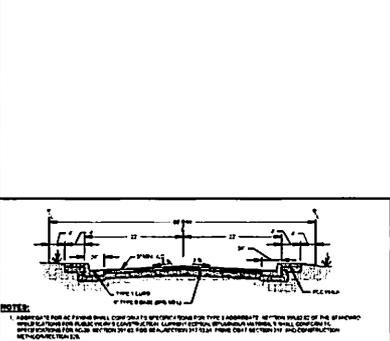
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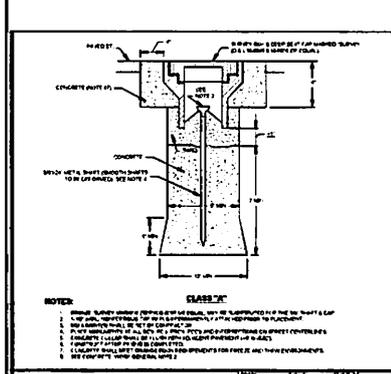
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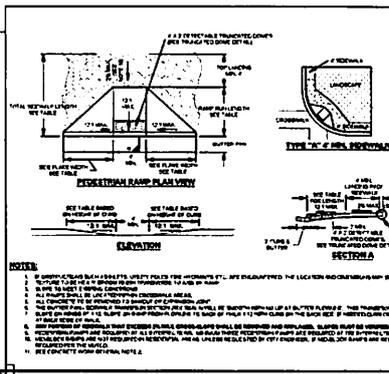
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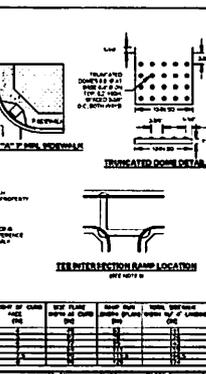
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**COUNTRY AIR ESTATES**

**PHASE 6 IMPROVEMENT PLANS**

SHEET 04

DETAIL SHEET

APPROVED FOR THE CITY OF FALLON

PROJECT NO. 1519

DATE: 07/21/12

DESIGNED BY: REBECCA C. FRENCH

CHECKED BY: [Signature]

DATE: 07/21/12

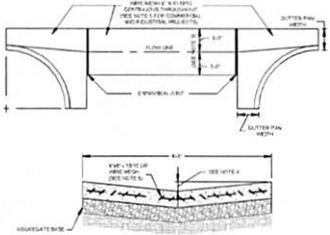
REVISIONS

NO.	DATE	DESCRIPTION

APPROVALS

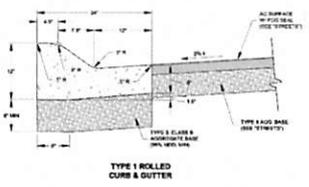
D4

SHEET 4 OF 11



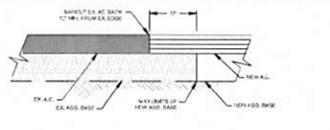
- NOTES:**
1. AGGREGATE BASE SHALL BE TYPE 1 CLASS B AND BE COMPACTED TO A MIN. 4\"/>
  - 2. FORM AND FINISH CONCRETE SHALL BE TO SPECIFICATIONS OF THE CITY ENGINEER.
  - 3. ALL MATERIAL SHALL CONFORM TO SPECIFIC CURRENT SPECIFICATIONS AND SHALL BE APPROVED BY THE CITY ENGINEER.
  - 4. GUTTER PAN SHALL BE 1/2\"/>
  - 5. GUTTER PAN SHALL BE 1/2\"/>
  - 6. ALL CONCRETE SHALL BE TYPE 1 CLASS B AND BE COMPACTED TO A MIN. 4\"/>
  - 7. ALL CONCRETE SHALL BE TYPE 1 CLASS B AND BE COMPACTED TO A MIN. 4\"/>

<b>P.C.C. VALLEY GUTTER</b>	137	ENGINEER	DATE	NO.	REVISION

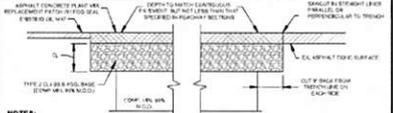


- NOTES:**
1. CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION OF THE CITY OF LAS VEGAS GENERAL NOTES AND SECTION 101 OF THE CITY ENGINEER'S SPECIFICATIONS FOR ROADWAY CONSTRUCTION.
  2. AGGREGATE BASE SHALL BE TYPE 1 CLASS B AND BE COMPACTED TO A MIN. 4\"/>
  - 3. ALL CONCRETE SHALL BE TYPE 1 CLASS B AND BE COMPACTED TO A MIN. 4\"/>
  - 4. GUTTER PAN SHALL BE 1/2\"/>
  - 5. GUTTER PAN SHALL BE 1/2\"/>
  - 6. ALL CONCRETE SHALL BE TYPE 1 CLASS B AND BE COMPACTED TO A MIN. 4\"/>
  - 7. ALL CONCRETE SHALL BE TYPE 1 CLASS B AND BE COMPACTED TO A MIN. 4\"/>

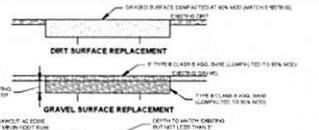
<b>TYPE I ROLLED C &amp; G</b>	164	ENGINEER	DATE	NO.	REVISION



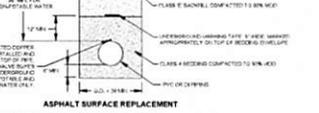
**SAWCUT DETAIL** 141 SHEETS



**PERMANENT PAVING PATCH** 142 SHEETS



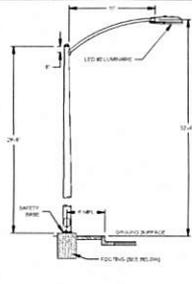
**DIRT SURFACE REPLACEMENT** 143 SHEETS



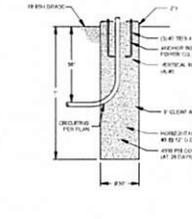
**GRAVEL SURFACE REPLACEMENT** 144 SHEETS



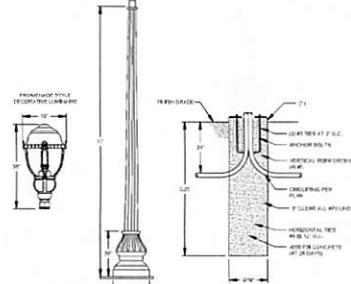
**ASPHALT SURFACE REPLACEMENT** 144 SHEETS



- NOTES:**
1. The City of Fallon Public Works Department shall review and approve the type and location of street lights in public right-of-way, installation or relocation when the proposed improvement plans are submitted to the city engineer. All public street light fixtures shall be a certain style and design and will be selected from the available designs approved for use by City of Fallon Public Company. Drawings are required to show City of Fallon Company for the final installation.
  2. Luminaire light distribution is designated as Cutoff when the beam spread per 1000 lamp lumens does not horizontally exceed 20.0 degrees, at an angle of 90 degrees above the lowest point horizontal, and 100.0 percent at a vertical angle of 100 degrees above the lowest point horizontal. This applies to any angle around the luminaire.
- LOCATION:**
1. Lights shall be spaced a minimum of 200 ft. or as dictated by City of Fallon.
  2. Lights shall be located at all street intersections and sidewalks.



**TRAFFIC POLE TYPE 7** 151 SHEETS



- NOTES:**
1. THE CITY ENGINEER SHALL REVIEW AND APPROVE THE TYPE AND LOCATION OF STREET LIGHTS IN PUBLIC RIGHT-OF-WAY, INSTALLATION OR RELOCATION WHEN THE PROPOSED IMPROVEMENT PLANS ARE SUBMITTED TO THE CITY ENGINEER. ALL PUBLIC STREET LIGHT FIXTURES SHALL BE A CERTAIN STYLE AND DESIGN AND WILL BE SELECTED FROM THE AVAILABLE DESIGNS APPROVED FOR USE BY CITY OF FALLON PUBLIC COMPANY. DRAWINGS ARE REQUIRED TO SHOW CITY OF FALLON COMPANY FOR THE FINAL INSTALLATION.
  2. LUMINAIRE LIGHT DISTRIBUTION IS DESIGNATED AS CUTOFF WHEN THE BEAM SPREAD PER 1000 LAMP LUMENS DOES NOT HORIZONTALLY EXCEED 20.0 DEGREES, AT AN ANGLE OF 90 DEGREES ABOVE THE LOWEST POINT HORIZONTAL, AND 100.0 PERCENT AT A VERTICAL ANGLE OF 100 DEGREES ABOVE THE LOWEST POINT HORIZONTAL. THIS APPLIES TO ANY ANGLE AROUND THE LUMINAIRE.
- LOCATION:**
1. LIGHTS SHALL BE SPACED A MINIMUM OF 200 FT. OR AS DICTATED BY CITY OF FALLON.
  2. LIGHTS SHALL BE LOCATED AT ALL STREET INTERSECTIONS AND SIDEWALKS.

**ORNAMENTAL POST AND LUMINAIRE** 152 SHEETS

COUNTRY AIR ESTATES  
PHASE 6 IMPROVEMENT PLANS  
SHEET 05  
DETAIL SHEET

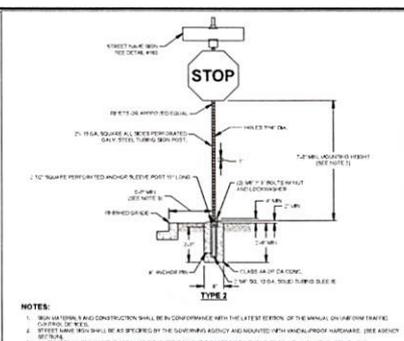
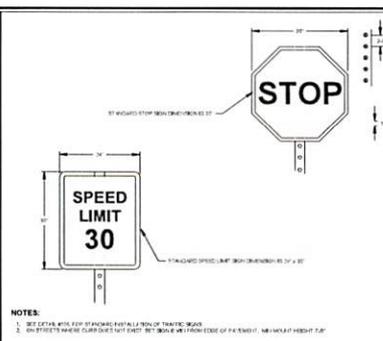
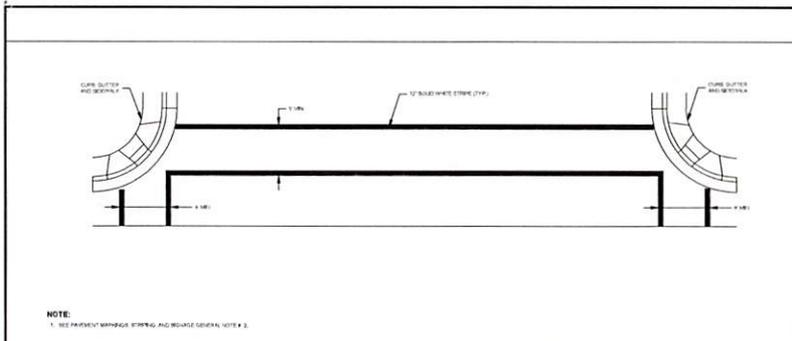
PREPARED BY  
ROCK HOUND INVESTMENTS  
115 S. 1st St.  
Spring Creek, NV  
89715  
(775) 848-1519

DATE: 06/20/21

REBECCA C. REECE  
CIVIL ENGINEER  
07/25/22

NO.	DATE	BY	CHKD	DESCRIPTION
0	01/04/2022	LMG	RCS	ISSUED FOR PERMIT REVIEW
1	02/07/2022	RCS	RCS	VALUE ENGINEERING
2	03/04/2022	LMG	RCS	FALLON COMMENT RESPONSE
3	04/14/2022	LMG	RCS	ISSUED FOR NSRP REVIEW
4	05/26/2022	RCS	RCS	RESPONSE TO NSRP

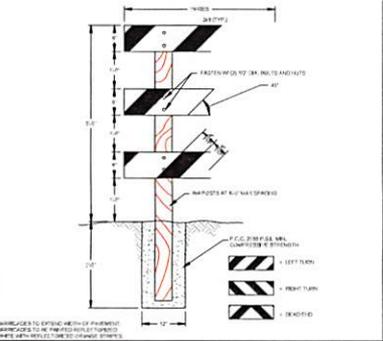
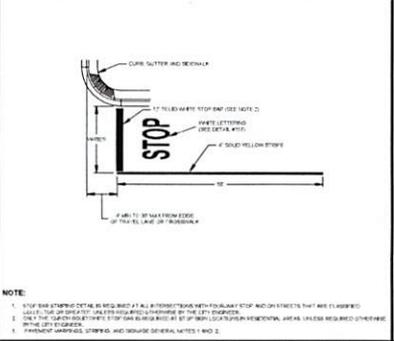
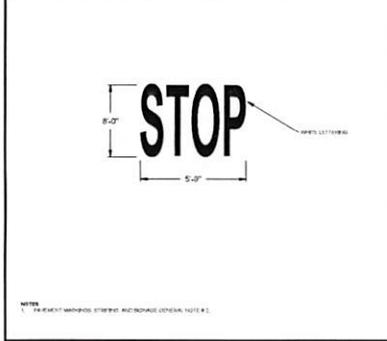
APPROVALS  
D5  
SHEET 05 OF 11



<b>INTERSECTION CROSSWALK STRIPING</b>	153	STREETS
----------------------------------------	-----	---------

<b>SPEED LIMIT &amp; STOP SIGNS</b>	155	STREETS
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<b>STANDARD STREET / TRAFFIC SIGN INSTALLATION</b>	156	STREETS
----------------------------------------------------	-----	---------



<b>STOP SYMBOL MARKING</b>	157	STREETS
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<b>STOP CONTROL STRIPING</b>	158	STREETS
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<b>TYPE 3 BARRICADE</b>	159	STREETS
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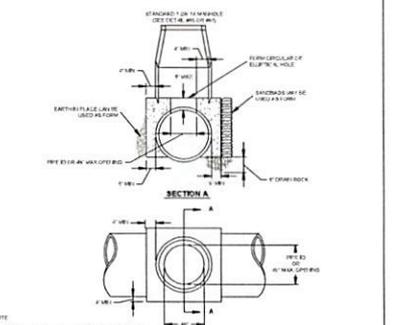
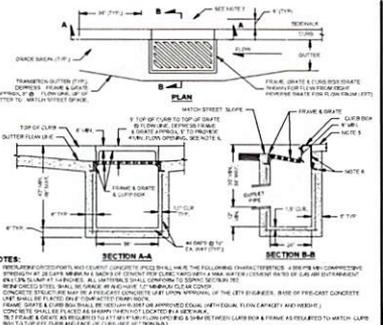
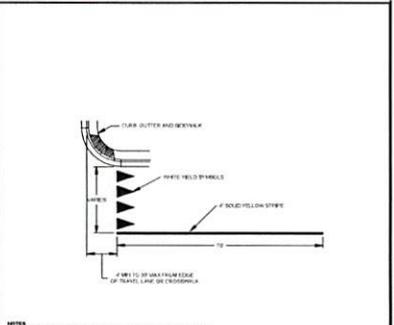
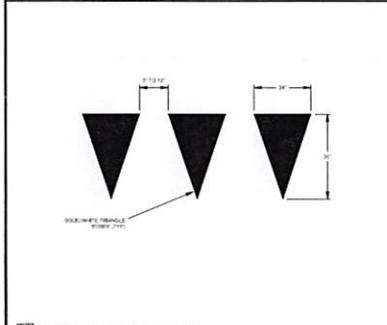


<b>STOP SYMBOL MARKING</b>	157	STREETS
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<b>STOP CONTROL STRIPING</b>	158	STREETS
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<b>TYPE 3 BARRICADE</b>	159	STREETS
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<b>SCHOOL SYMBOL MARKING</b>	161	STREETS
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<b>YIELD LINE STRIPING</b>	162	STREETS
----------------------------	-----	---------

<b>YIELD CONTROL STRIPING</b>	163	STREETS
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<b>TYPE 4R CATCH BASIN</b>	180	STREETS
----------------------------	-----	---------

<b>MANHOLE TYPE IV (TANGENT)</b>	181	STREETS
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**COUNTRY AIR ESTATES**  
PHASE 6 IMPROVEMENT PLANS  
SHEET 04  
DETAIL SHEET

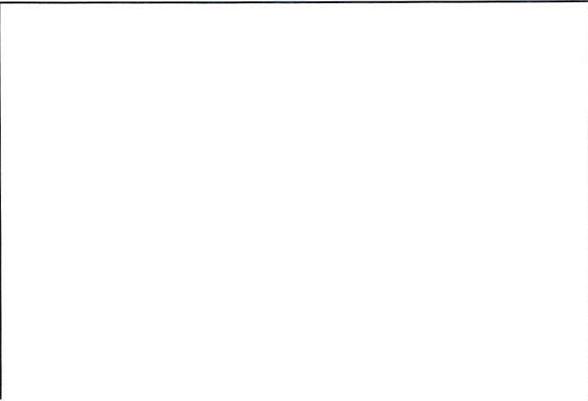
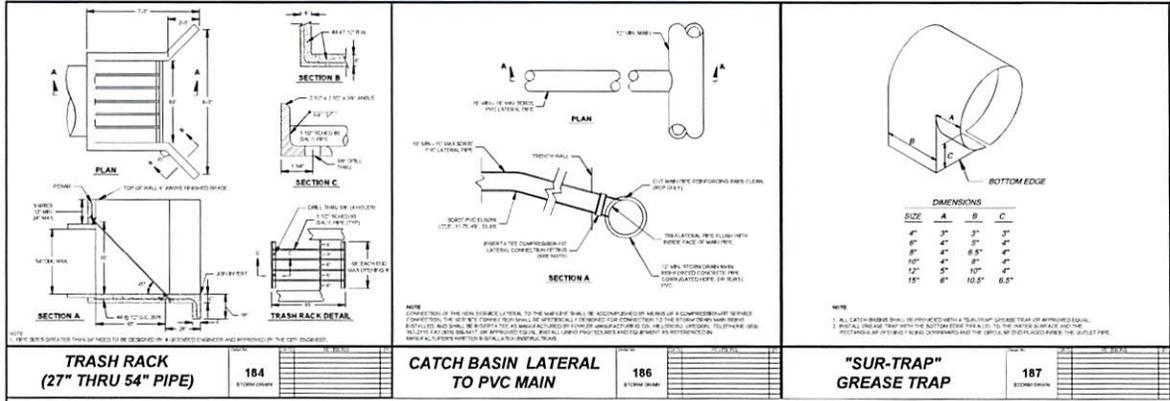
PREPARED FOR:  
**ROCK HOUND INVESTMENTS**  
155 N. Main St.  
Springdale, AR 72761  
(870) 491-1519

DESIGNED BY:  
**REBECCA C. BURDICK**  
Professional Engineer  
No. 10000  
State of Nevada  
07/25/22

NO.	DATE	BY	DESCRIPTION
1	01/04/2022	MMD	ISSUED FOR PERMIT REVIEW
2	02/01/2022	RCB	VALUE ENGINEERING
3	03/04/2022	LJRS	FALLON CORNER RESPONSE
4	04/14/2022	LAD	ISSUED FOR NCEP REVIEW
5	07/25/2022	RCB	RESPONSE COMMENTS TO NCEP

APPROVALS  
**D6**

SHEET 10 OF 11



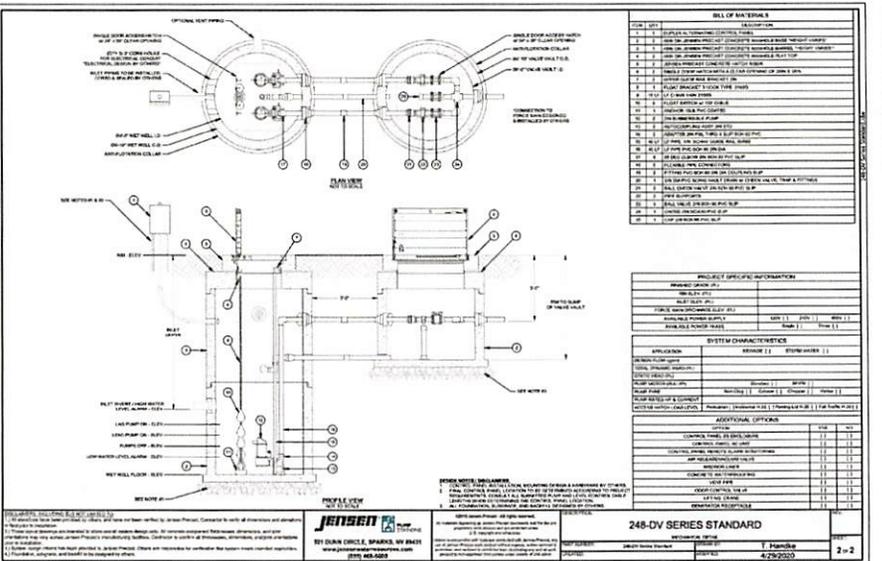
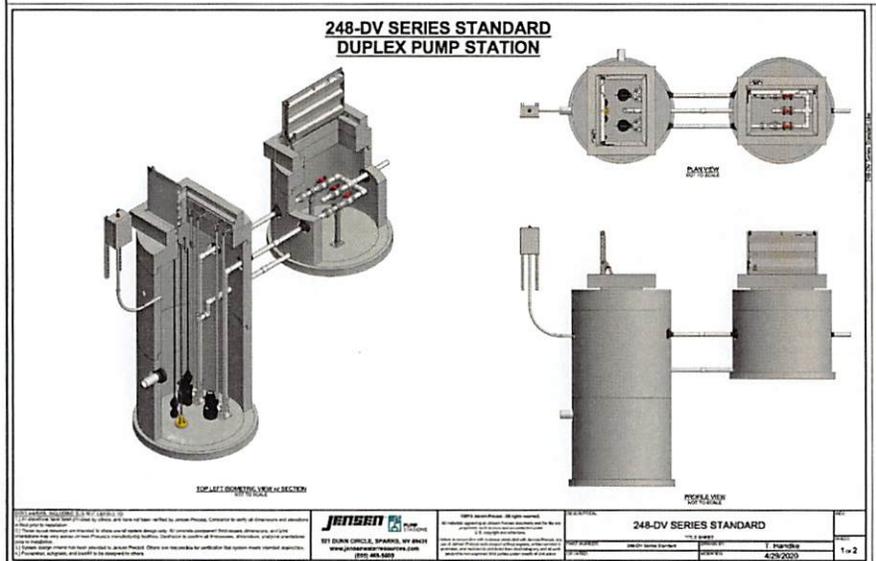
**COUNTRY AIR ESTATES**  
**PHASE 6 IMPROVEMENT PLANS**  
 SHEET 07  
 DETAIL SHEET

PROJECT NO. 1107254201  
 CITY OF FALLON, NEVADA

NO.	DESCRIPTION	DATE	BY	CHKD
184	TRASH RACK (27" THRU 54" PIPE)			
186	CATCH BASIN LATERAL TO PVC MAIN			
187	"SUR-TRAP" GREASE TRAP			

PREPARED FOR:  
**ROCKY HOUND INVESTMENTS**  
 115 GARDEN DR  
 SUITE 100  
 FALLON, NV 89405  
 (775) 491-1519

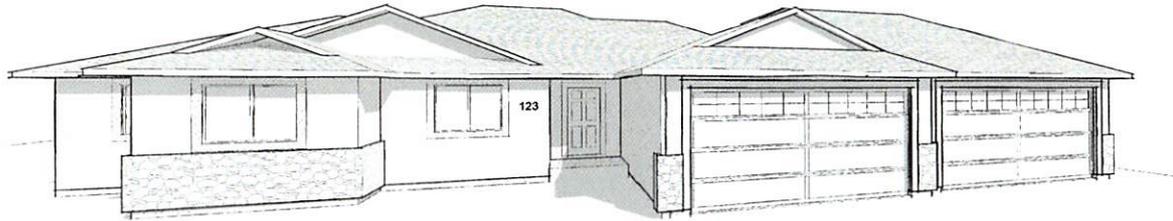
DATE: 07/20/22



NO.	REVISION	DATE	BY	CHKD
1	ISSUED FOR PERMITS REVIEW	07/20/2022	MMD	RCB
2	VALUE ENGINEERING	08/01/2022	RCB	RCB
3	FALLON COMMENT RESPONSE	08/04/2022	LAD	RCB
4	RESPONSES TO FALLON	07/25/2022	RCB	RCB







## Ruby Model

### General Notes

These drawings have been prepared to indicate the location, nature and extent of a proposed work of improvement, and to show that the work of improvement will conform to the provisions of the adopted codes, ordinances and regulations of the authority having jurisdiction within which the proposed work shall be performed.

References shall be to the adopted International Residential Code or as noted by specialty within drawings.

Drawings represent a proposed work of improvement. The actual work of improvement might vary from drawings. Design professional not responsible for the construction of the work of improvement. Drawings are not indicating methods of construction. The holder shall provide all measures necessary to protect the work during construction, such measures shall include, but not be limited to bracing, shoring for loads due to construction equipment, etc. Construction materials shall be spread out if placed on floor or roof. Loads shall not exceed the design live load per square foot. Provide adequate shoring and/or bracing where structure has not attained full design strength.

These drawings shall be tied, for AIA approval, when stamped, signed and dated, all other versions shall be considered preliminary and/or not for construction.

Drawings represent features for reference only. Verify all features with others, including, but not limited to: Survey, echnetry, shading, etc.

All specified hardware shall be Dupont Stainless for residential or better.

All structural components lumber shall be TrusJoist by Weyerhaeuser or equivalent or better.

Builder shall verify all dimensions prior to starting construction. Design professional shall be notified of any discrepancies or omissions.

Dimensions shall take precedence over scale shown on drawings. Notes and details on drawings shall take precedence over general notes and typical details.

Design professional not responsible for site conditions, and shall retain no responsibility for any such provisions that regulate the strength of soils, water table and/or flood hazards, etc.

Builder to field verify site conditions and details. All safety connections shall be designed and/or provided by others and shall be in accordance with all jurisdiction requirements. R1101.1 Connection of service stations. No person shall make connections from a utility, source of energy, fuel or power to building or system that is regulated by this code for which a permit is required, and approved by the building official.

The most force resisting construction system used shall be platform light frame construction IRC I.1.2.

All eavelets and eave locations for reference only, field verify locations.

### Responsibility

R1101.8 Responsibility. It shall be the duty of every person who performs work for the installation or repair of building, structure, electrical, etc., mechanical or plumbing systems for which the adopted codes are applicable, to comply with the adopted codes.

### Stock Plan Authorization

Design Professional Authorization shall accompany each permit applied for the utilization of these plans. [RCS 623.700]

### Manufacturer's Installation Instructions

R101.1.2 Manufacturer's installation instructions, as required by the code, shall be available on the job site at the time of inspection.

### Building Area Notes:

Standard Building Areas may change with Options.

Room areas, where shown, are for reference only; Building Areas are for valuation. Square footages as shown on drawings are calculated using International Residential Code and ANSI Z765 standards and are based on plan dimensions only and may vary from the actual square footages of the work as built. Square footages as shown may also vary when calculated by other programs for supporting documents.

### Building Areas

1st Floor Above Grade	2016 SF
Attached Garage	1254 SF
Covered Rear Porch	152 SF
Covered Front Porch	49 SF

### Building Design Criteria

Occupancy group	R-3 Single Family Dwelling U (Attached Garage)
Type of Construction	V-D
Maximum Height	Up to 8 stories with no story exceeding 11' 2"
Seismic Design Category	<S0007 Above Sea Level
Design Wind Speed	D1
Ground Snow Load P <sub>g</sub>	5 psf, No Reductions
Frost Depth	18" Below Finish Grade
Concrete Weathering Probability	Severe
Basic Wind Speed	Risk category 3, 115 mph VWS, Exposure C
Termin. Mitigation Probability	Moderate to Heavy
Fire Barrier Underlayment Requirement	None Required
Climate Zone	5
Roof DL	15 PSF
Floor LL	See Ground Snow Load
Floor DL	40 PSF
Floor CL	22 PSF

### City of Fallon Adopted Codes

2018 International Building Code (IBC), and Appendices C, E, F and L.

2018 International Residential Code (IRC), and Appendices A, D, G, G, H and I.

2018 International Existing Building Code (IEBC), and Appendices A, B and C.

2018 International Fuel Gas Code (IFGC), and Appendices A, B and C.

2018 International Mechanical Code (IMC).

2018 International Plumbing Code (IPC), and Appendices A, B and D.

2018 International Fire Code (IFC), and Appendices A, B, and C.

2018 International Energy Conservation Code (IECC).

2017 National Electrical Code (NEC).

2018 Northern Nevada Amendments (NNA).

2018 International Fire Code (IFC), and Appendices C, D and F, as modified by N.A.C. 477.021.

### Drawings Sheet List

A0	Title Sheet
A1	Floor Plan
A2	Exterior Elevations A
A2.1	Exterior Elevations D
A3	Building Section
E1	Electrical Plan
M1	Mechanical Plan
F1	Plumbing Plan
S1	Foundation/Floor Framing Plan
S2	Framing Plan A
S2.1	Framing Plan B
S01	Building Details

**NBRD CORPORATION**  
A TRULIPER AGENCY INC.  
1000 WEST WILLOW AVENUE  
FALLON, NEVADA 89405

Professional Engineer  
No. 12345  
State of Nevada  
2/22/22



REVISED SCHEDULE	DATE	DESCRIPTION
1	2-22-22	PLAN RELEASE



Ruby Model  
Stock Plan  
JKG Builders  
Single Family Dwelling  
w/ Attached Garage  
City of Fallon, Nevada

100% DATE  
2/22/22

A0

Title Sheet

October 4, 2022

## Agenda Item 7

Consideration and possible approval of a Tentative Subdivision Map for Sage Landing Subdivision.  
**(For possible action)**

FALLON

Incorporated 1908

**CITY OF FALLON  
REQUEST FOR COUNCIL ACTION**

Agenda Item No.   7  

DATE SUBMITTED: September 23, 2022

AGENDA DATE REQUESTED: October 4, 2022

TO: The Honorable City Council

FROM: Derek Zimney, City Engineer

SUBJECT TITLE: Consideration and possible approval of a Tentative Subdivision Map for Sage Landing Subdivision. **(For possible action)**

TYPE OF ACTION REQUESTED: (Check one)

- |                                                          |                                    |
|----------------------------------------------------------|------------------------------------|
| <input type="checkbox"/> Resolution                      | <input type="checkbox"/> Ordinance |
| <input checked="" type="checkbox"/> Formal Action/Motion | <input type="checkbox"/> Other     |

RECOMMENDED COUNCIL ACTION: Motion to approve the Tentative Subdivision Map for Sage Landing Subdivision.

DISCUSSION: This map would be the first step in creating one hundred and thirty two (132) new multi-family dwellings in the proposed subdivision located on the parcel identified as APN 001-731-09.

This parcel was annexed in 1976 and has not been developed. This multi-family development is planned to be parceled in the Final Map stage and units sold as individual town homes.

This map has been reviewed by Derek Zimney - City Engineer, Brian Byrd – Public Works Director, Bob Erickson – Chief of Staff. Sean Rowe – Deputy City Attorney and Trent deBraga - Deputy City Attorney. Letters of intent and copies of the proposed tentative map have been submitted to the Nevada Department of Environmental Protection, Nevada Division of Water Resources, Truckee-Carson Irrigation District, Churchill County and the Churchill County School District. Those letters and responses from each agency are attached.

FISCAL IMPACT: N/A - Water Rights Fees to be paid at Final Map stage.

FUNDING SOURCE: N/A

PREPARED BY: Derek Zimney, City Engineer

DATE: October 4, 2022

TO BE PRESENTED TO THE COUNCIL BY: Derek Zimney, City Engineer







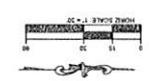
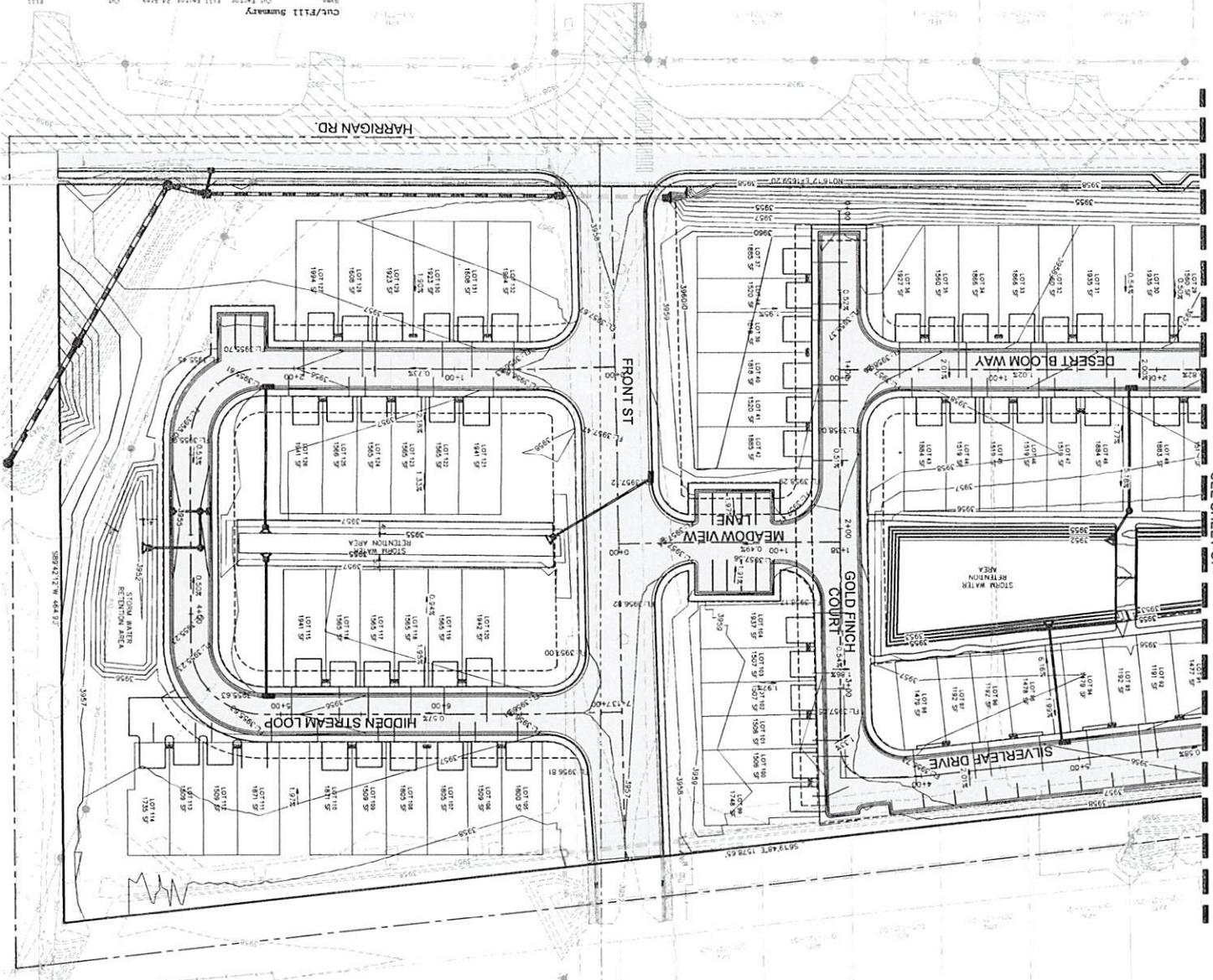




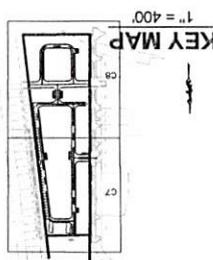




SEE SHEET C7



- GRADING LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - LOT LINE
  - SETBACK LINE
  - RIGHT-OF-WAY
  - PROPERTY LINE
  - EXISTING BOUNDARY LINE
  - EXISTING SECTION LINE
  - TRACT
  - EASEMENT LINE
  - ROAD EASEMENT LINE
  - ROAD CENTER LINE
  - EXISTING ROAD CENTER LINE
  - EDGE OF PAVEMENT
  - PROPOSED CURB & GUTTER
  - STORM SEWER MANHOLE AND PIS
  - DRAINAGE FLOWLINE
  - 100-YR FLOOD PLAN
  - EXISTING 100-YR FLOOD PLAN



**SAGE LANDING TENTATIVE MAP**  
CHURCHILL COUNTY  
FALLON NEVADA

**GRADING PLAN**

PROJECT NO. 1301  
DATE: 07/1/2022

DATE: 07/1/2022

DESIGNED BY: JLS  
NOT TO SCALE & SHEET  
SIZE OTHER THAN 24" X 36"

DATE: 07/1/2022

811

PHELPS ENGINEERING

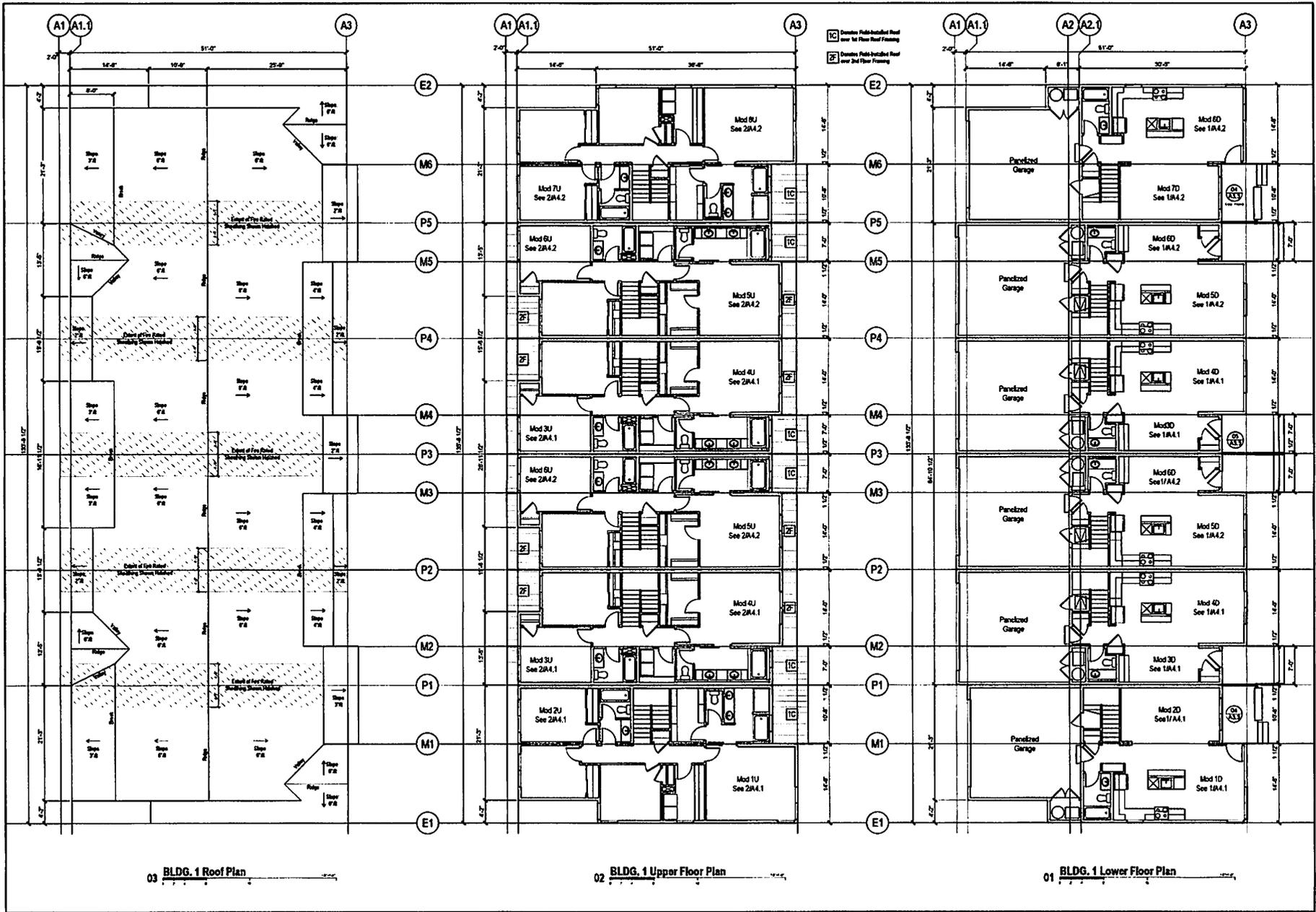
PHELPS ENGINEERING

DATE: 07/1/2022









03 BLDG. 1 Roof Plan

02 BLDG. 1 Upper Floor Plan

01 BLDG. 1 Lower Floor Plan

**Z MAN**  
 JEFF ZIMMERMAN  
 architecture planning development  
 P.O. Richmond  
 124 Washington Ave  
 Richmond, CA 94801  
 Tel 415.289.6566  
 Sausalito 1787 Denmark Street  
 Sausalito, CA 94965  
 Tel 707.533.6442

**SAGE LANDING**  
 HARRISON ROAD &  
 EAST FRONT STREET  
 FALLON, NV

Rev	Issue	Issue Date
01	PRELIMINARY	
02	STRUCT. COORD.	
03	CURRENT ELEV.	
04	PORCH REVIEW	

**BUILDING 1**  
 MODULE 4 ROOF PLANS

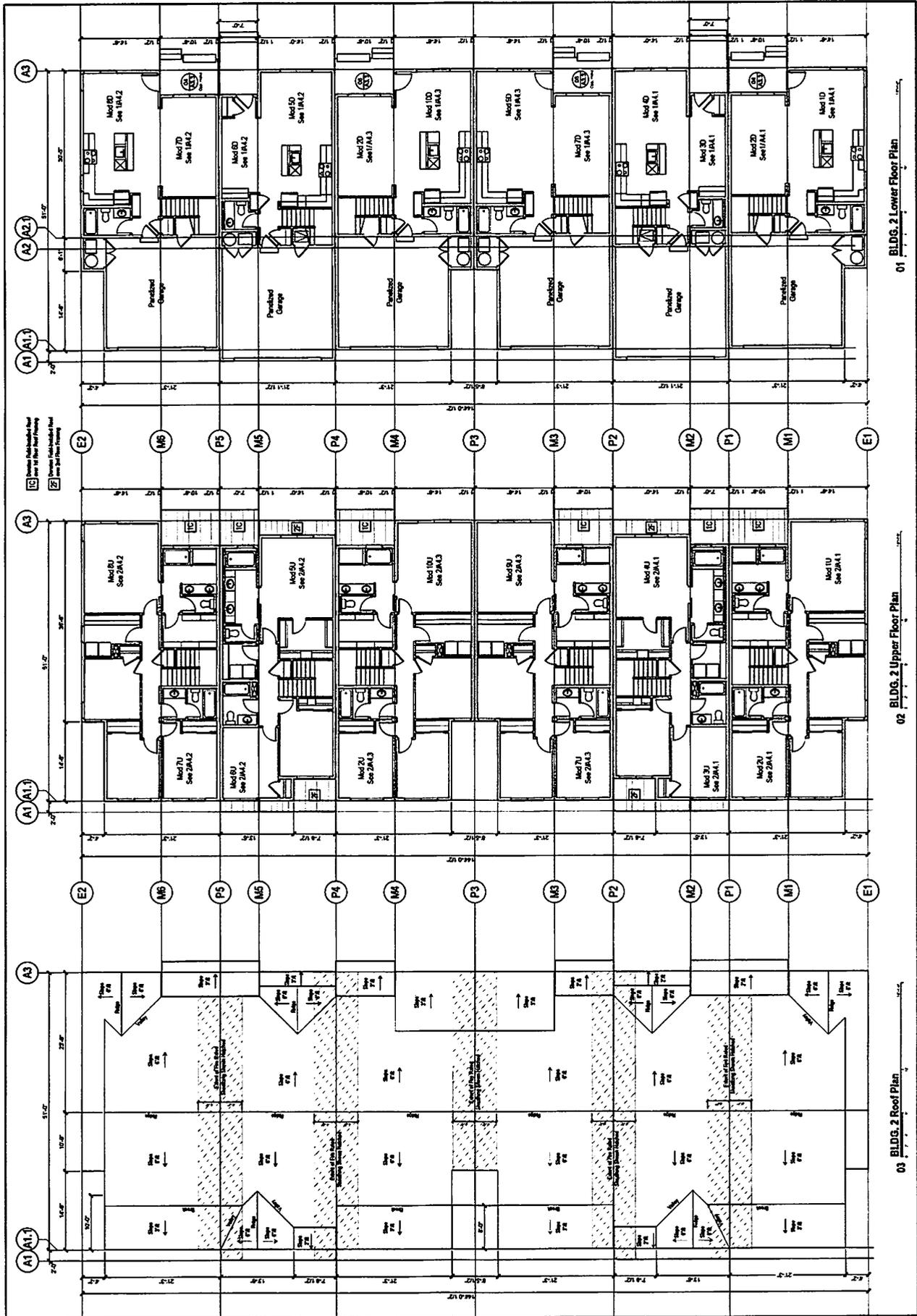
**A2.1**

**SAGE LANDING**  
 HARGREAVEN ROAD &  
 EASTERN AVENUE  
 FALLOON, IN

NO.	DESCRIPTION	DATE
01	PRELIMINARY	
02	STRUCK CORRECT	
03	CORRECT ELEV.	
04	POOR POSITION	

THIS DRAWING IS FOR THE ROOF PLAN  
 OF THE BUILDING.

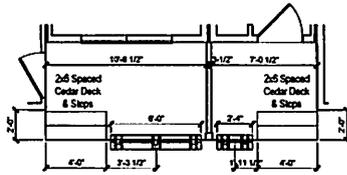
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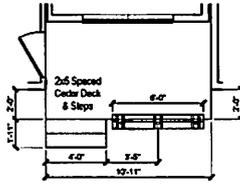
01 BLDG. 2 Lower Floor Plan

02 BLDG. 2 Upper Floor Plan

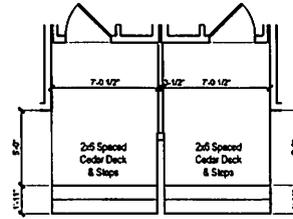
03 BLDG. 2 Roof Plan



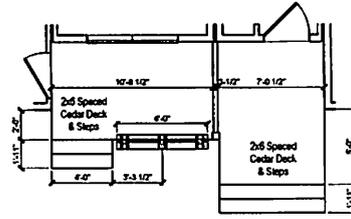
04A Porch A-B Alternates



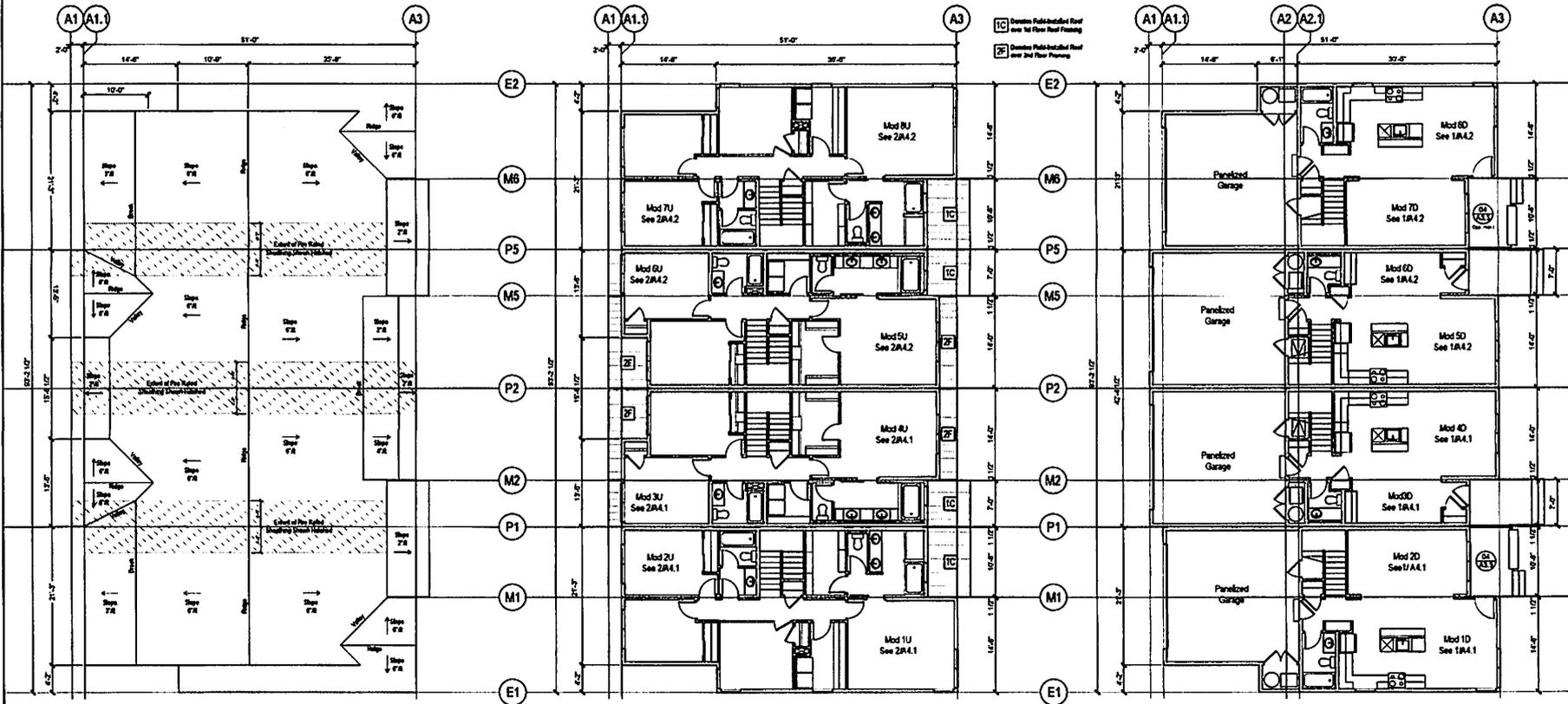
06 Porch A-Int



05 Porch B-B



04 Porch A-B



03 BLDG. 3 Roof Plan

02 BLDG. 3 Upper Floor Plan

01 BLDG. 3 Lower Floor Plan

- 1C Insulate Full-Insulated Roof over 1st Floor Roof Finishing
- 2C Insulate Full-Insulated Roof over 2nd Floor Finishing

**Z**MAN  
 Jeff Zimmerman  
 architecture planning development  
 Pl. Richmond  
 124 Washington Ave  
 Richmond, CA 94801  
 Tel 415.289.8660  
 Seama  
 1187 Denmark Street  
 Seama, CA 95476  
 Tel 707.533.8443

**SAGE LANDING**  
 HARRISMAN ROAD &  
 EAST FRONT STREET  
 FALLON, NV

Date	Revised	By	Checked
07.18.22	PRELIMINARY		
08.02.22	STRUCT. COORD.		
08.18.22	CURRENT ELEV.		
08.28.22	PORCH REVIEW		

BLDG. 3  
 MODULE & ROOF PLANS

**A2.3**



Ken Tedford  
MAYOR



James D. Richardson  
Councilman

Kelly Frost  
Councilwoman

Karla Kent  
Councilwoman

August 19, 2022

State of Nevada  
Nevada Department of Environmental Protection  
901 S. Stewart Street #4001  
Carson City, NV 89701

Attn: Tammara Weaver, Compliance Coordinator

RE: Intent to Serve - Sage Landing

Mrs. Weaver,

Upon City Council approval, the City of Fallon intends to serve water, sewer, electric and garbage to the above referenced subdivision. The capacities of the respective systems and facilities are adequate to serve the proposed development. The proposed development includes one hundred and thirty-two (132) multifamily family residential units.

This intent to serve is conditioned on approval from the City of Fallon City Council and the compliance of all standards and regulations as set forth in the Fallon Municipal Code and adopted building codes.

Sincerely,

A handwritten signature in black ink, appearing to read "Derek Zimney".

Derek Zimney P.E., City Engineer  
City of Fallon



NEVADA DIVISION OF  
**ENVIRONMENTAL  
PROTECTION**

**STATE OF NEVADA**  
Department of Conservation & Natural Resources

Steve Sisolak, *Governor*  
James R. Lawrence, *Acting Director*  
Greg Lovato, *Administrator*

September 14, 2022

DEREK ZIMNEY, P.E.  
City Engineer, City of Fallon  
55 West Williams Ave.  
Fallon NV 89406

**Re Tentative Map - Sage Landing  
132 lots the City of Fallon**

Dear Mr. ZIMNEY:

The Nevada Division of Environmental Protection has reviewed the above referenced subdivision and recommends approval of said subdivision with respect to water pollution and sewage disposal, provided that the City of Fallon commits to provide sewage service to said subdivision.

Please note that if the developer of this subdivision will disturb more than one acre, he/she is required to obtain coverage under NDEP's Construction Stormwater General Permit NVR100000. A Notice of Intent must be filed electronically and submitted with a \$200 fee prior to commencing any earth-disturbing activities at the site. Visit NDEP's Bureau of Water Pollution Control's website at: [http://ndep.nv.gov/bwpc/storm\\_cont03.htm](http://ndep.nv.gov/bwpc/storm_cont03.htm) for more information about this permit.

Sincerely,

Ryan Fahey, Staff Engineer  
Technical Services Branch  
Bureau of Water Pollution Control

ecc:

NDWR NORTHERN NEVADA BRANCH SSHELL@WATER.NV.GOV

Derek Zimney, P.E., City of Fallon, dzimney@fallonnevada.gov

BCA Superfund Program Manager dfriedman@ndep.nv.gov

Engineer: Phelps Engineering Services, Clayton Trapp, ctrapp@phelpsengineering.net

Control No. 14924

Ken Tedford  
MAYOR



James D. Richardson  
Councilman

Kelly Frost  
Councilwoman

Karla Kent  
Councilwoman

August 19, 2022

State of Nevada  
Nevada Division of Water Resources  
901 S. Stewart Street #2002  
Carson City, NV 89701

Attn: Steve Shell, Water Resource Specialist 2

RE: Intent to Serve - Sage Landing

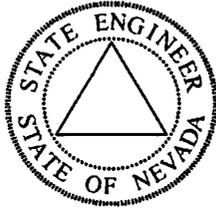
Mr. Shell,

Upon City Council approval, the City of Fallon intends to serve water, sewer, electric and garbage to the above referenced subdivision. The capacities of the respective systems and facilities are adequate to serve the proposed development. The proposed development includes one hundred and thirty-two (132) multifamily residential units.

This intent to serve is conditioned on approval from the City of Fallon City Council and the compliance of all standards and regulations as set forth in the Fallon Municipal Code and adopted building codes.

Sincerely,

Derek Zimney P.E., City Engineer  
City of Fallon



STATE OF NEVADA  
Department of Conservation and Natural Resources  
Steve Sisolak, Governor  
Jim Lawrence, Acting Director  
Adam Sullivan, P.E., State Engineer

Nevada Division of  
**WATER RESOURCES**

August 23, 2022

**To:** Derek Zimney, P.E.  
City Manager  
City of Fallon  
55 West Williams Avenue  
Fallon, NV 89406

**Re:** Comments on 21291-T

**Name:** Sage Landing

**County:** Churchill County – City of Fallon, Harrigan Road and Still Water Avenue

**Location:** A portion of Section 31 & 32, Township 19 North, Range 29, East, MDB&M.

**Plat:** Tentative: One-hundred-thirty-two (132) lots, common areas, and rights-of-way totaling approximately 12.41 acres and being Churchill County Assessor's Parcel Number 001-731-09.

**Water Service  
Commitment**

**Allocation:** No water has been allocated for this project.

**Owner-  
Developer:** Sage Landing Property Fund, LLC  
940 South 5<sup>th</sup> West Unit 12308  
Rexburg, ID 83440

**Engineer:** Phelps Engineering  
155 Country Estates Circle, Suite 300  
Reno, NV 89511

**Water  
Supply:** City of Fallon Public Works

**General:** There are no active water rights appurtenant to the described lands in this proposed project. The lands of the proposed project lie within the City of Fallon Public Works service area. Any water used on the described lands should be provided by an established utility or under permit issued by the State Engineer's Office.

All waters of the State belong to the public and may be appropriated for beneficial use pursuant to the provisions of Chapters 533 and 534 of the Nevada Revised Statutes (NRS), and not otherwise.

Any water or monitor wells, or boreholes that may be located on either acquired or transferred lands are the ultimate responsibility of the owner of the property at the time of the transfer and must be plugged and abandoned as required in Chapter 534 of the Nevada Administrative Code. If artesian water is encountered in any well or borehole it shall be controlled as required in NRS § 534.060(3).

Municipal water service is subject to City of Fallon Public Works rules and regulations and approval by the Office of the State Engineer regarding water quantity and availability.

A Will Serve from City of Fallon Public Works and mylar map of the proposed project must be presented to the State Engineer for approval and signed through his office prior to development.

**Action:** Approval of Sage Landing will be based on acceptance of Water Will Serve by City of Fallon Public Works.

Best regards,

*Steve Shell*

Steve Shell  
Water Resource Specialist II

## Derek Zimney

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**From:** Preston Denney <planning-gis@churchillcounty.org>  
**Sent:** Friday, September 9, 2022 1:18 PM  
**To:** Derek Zimney  
**Cc:** Christian Spross; Dean Patterson  
**Subject:** [EXTERNAL] - Road Names in Sage Landing Development  
**Attachments:** List of Street Names\_20220909.pdf

Hello Derek,  
I was asked to look at the Sage Landing Development road names.  
The following names were seen on the tentative map.

Hidden Stream Loop – Does not match any existing roads  
Gold Finch Court – Does not match any existing roads  
Silver Leaf Dr – Does not match any existing roads; similar to Silver Circle, Silver Sage Lane, Silver Spur Drive, and Silver State Avenue  
Desert Bloom Way – Does not match any existing roads; similar to Desert Hills Loop, Desert Springs Court, and Desert View Drive  
Sage Creek Lane – Does not match any existing roads; similar to Sage Lane, and Sagehen Creek Road  
Meadow View Lane – Already exist in the County. Please avoid using derivations of this name unless the road connects directly to existing Meadow View Lane, (i.e. Drive, Road, Way, etc.)

I would like to discuss getting a Inter Local Agreement between the County and the City for collaborating on road names. Please let me know a time convenient for you to discuss this. I have also included a current list of road names we are aware of.

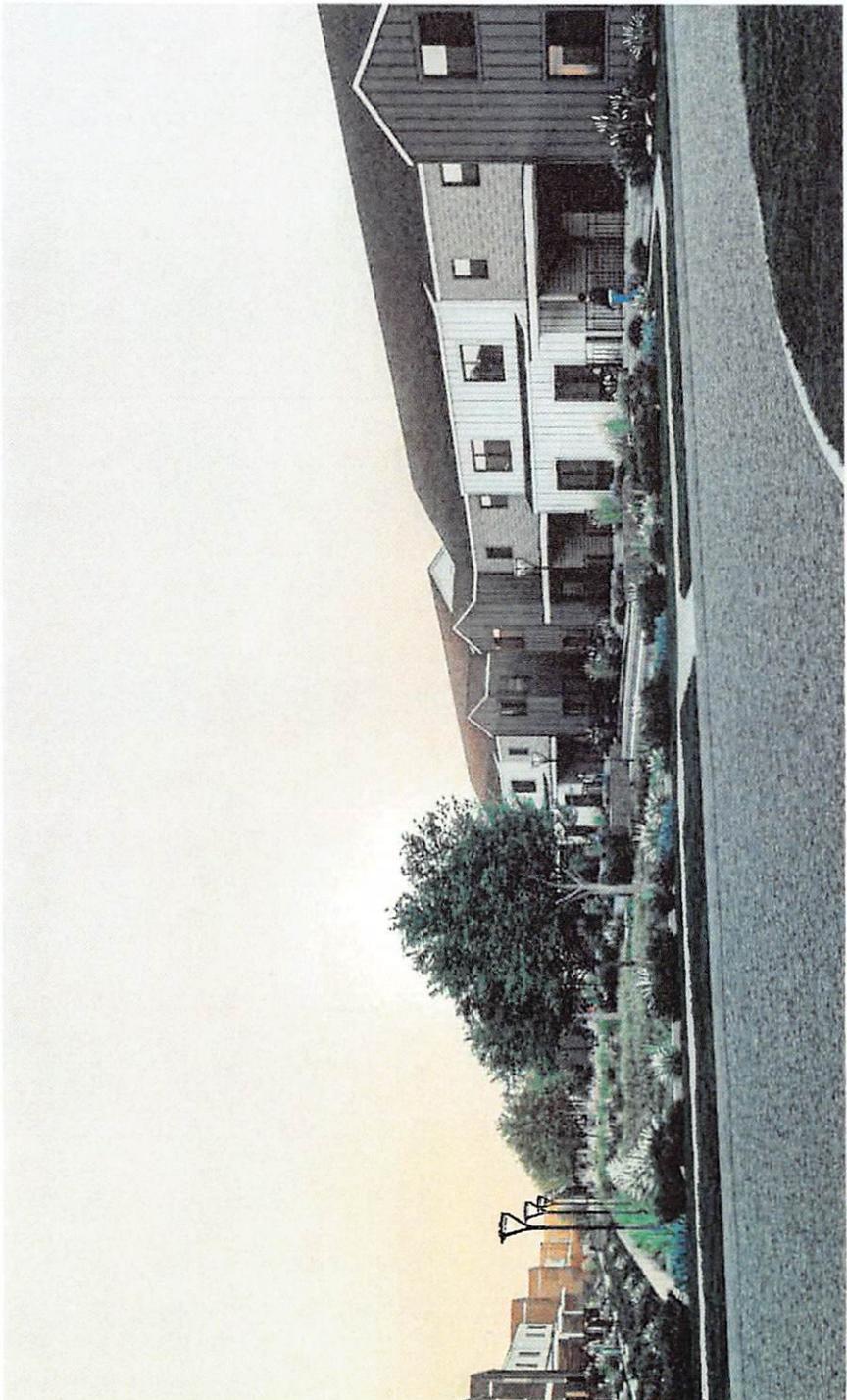
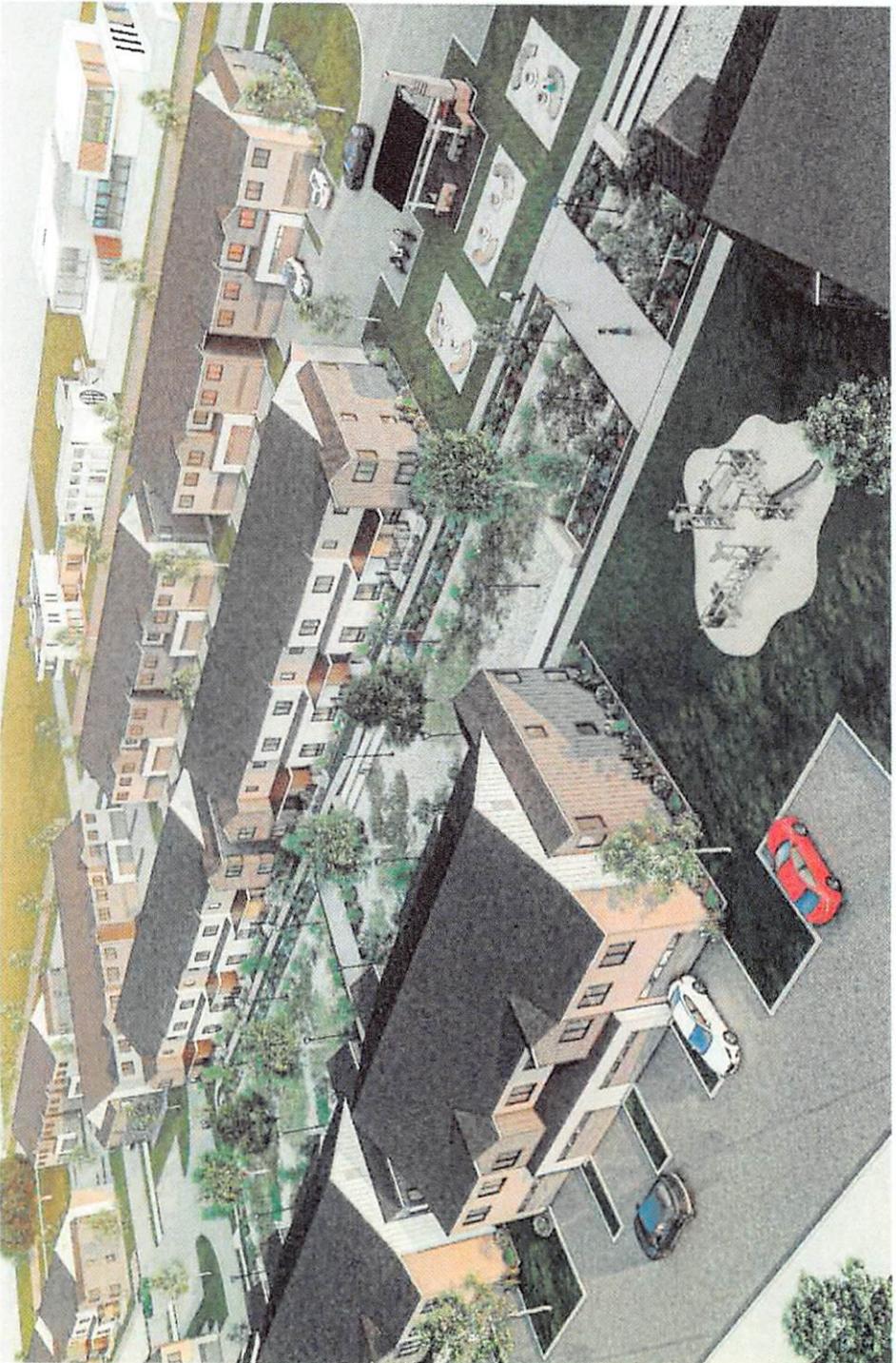
Thank You,  
Preston

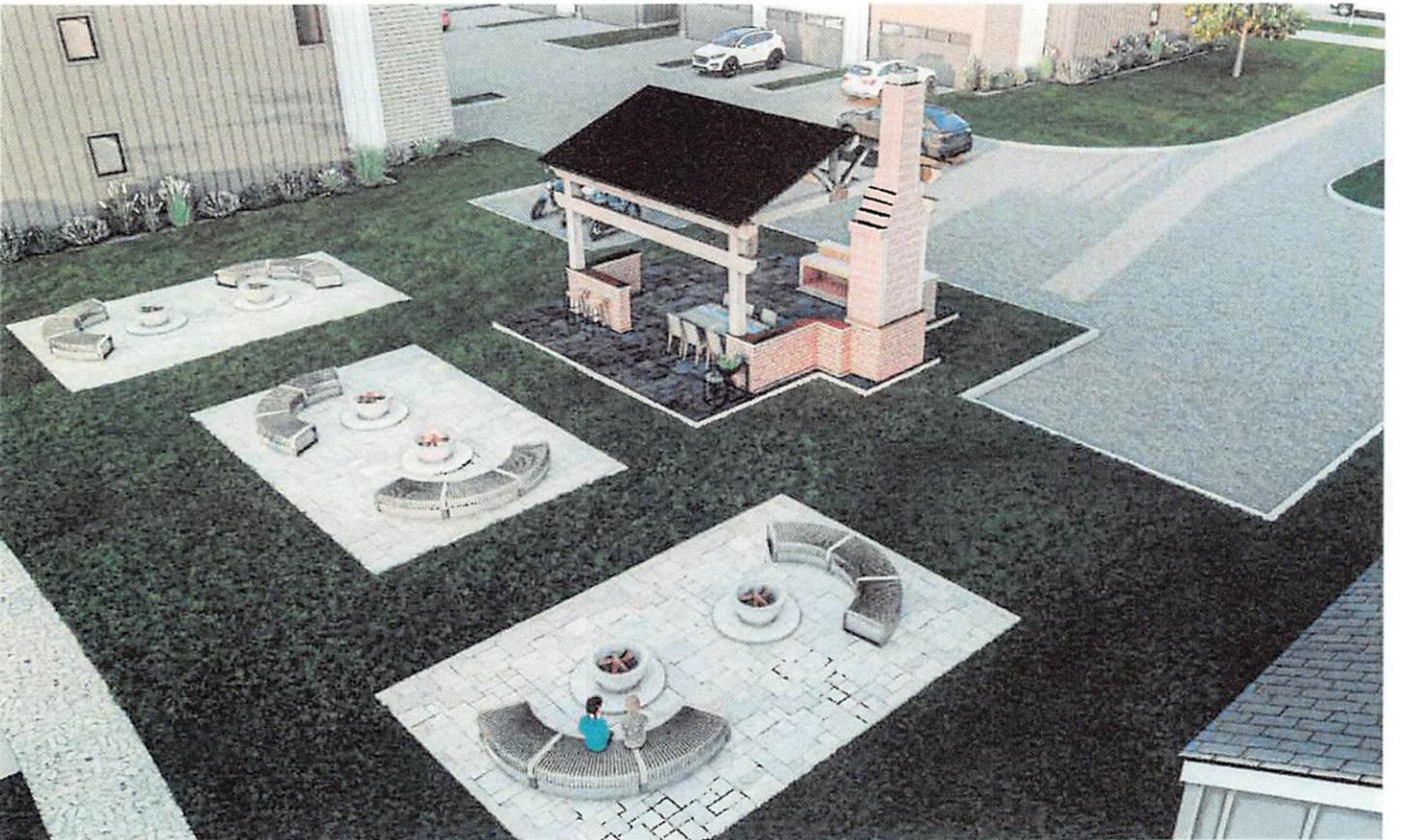
Preston Denney  
GIS Coordinator  
Churchill County  
Public Works, Planning & Zoning  
775-423-7627 ex 5  
Churchill County is an equal opportunity provider and employer





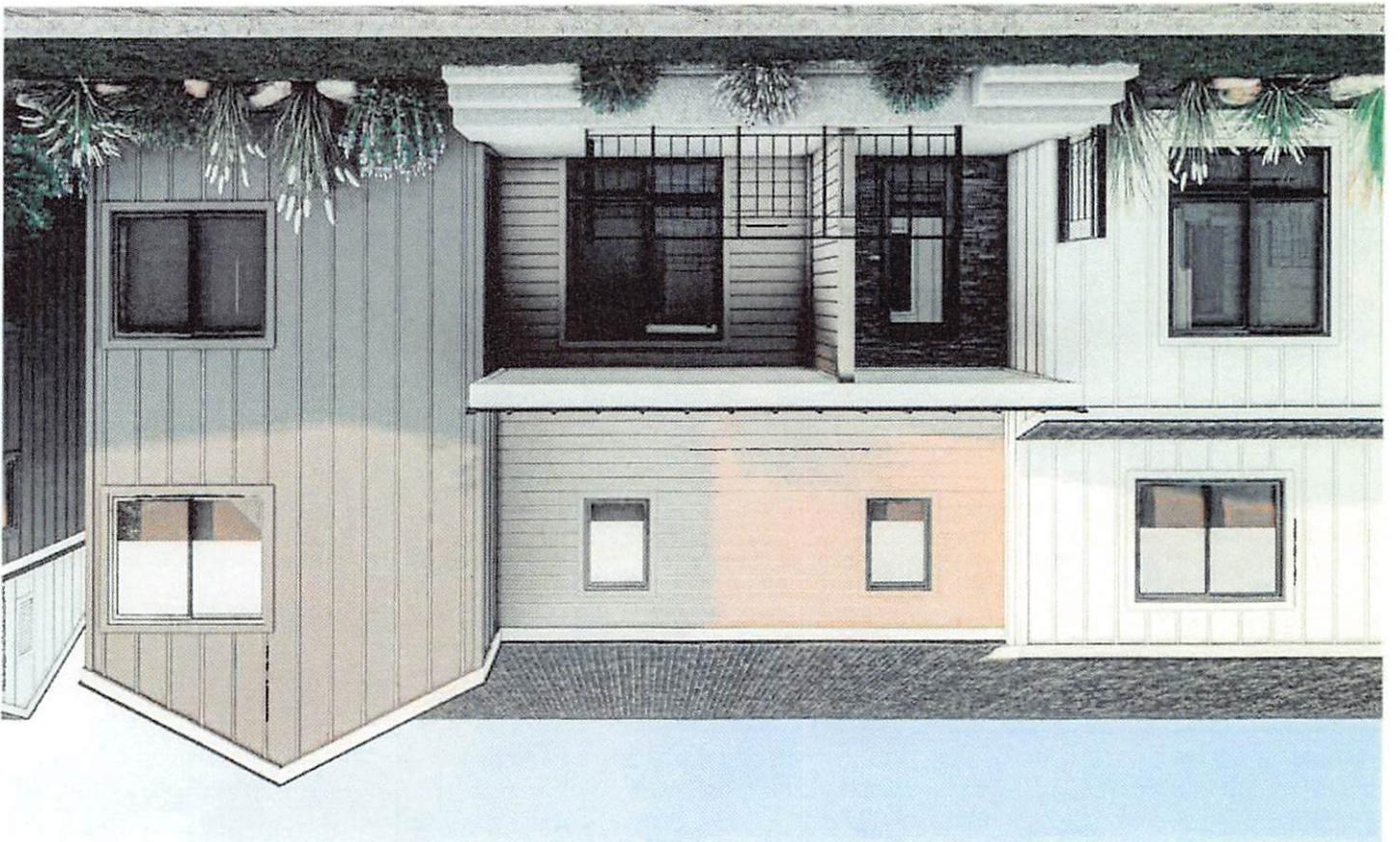














City of Fallon  
City Council Members  
55 W Williams Ave.  
Fallon, NV 89406

9/16/2022

**Re: Sage Landing Proposed Development**



Dear City Council Members,

I'm writing as a managing member of Diversified Builders LLC who owns a 12.41 acre parcel located between E. Stillwater and New River Parkway East of Harrigan Road described as APN 01-731-09. As a collaborative effort with Summit Building Group LLC, we are pleased to present to City Council *Sage Landing* development.

*Sage landing* is a planned 132-unit townhome community consisting of four and six plex style townhomes in a modern farmhouse aesthetic. The community has been designed to create a seamless transition with the surrounding single-family community. Summit Building Group and its design/engineering team has worked diligently to create a site layout that incorporates drainage basins as a beatified amenity, creating walking paths that tie community spaces together and creating an upscale community within the community that will bring added value to the City of Fallon. This community addresses a desperate need for quality housing within Fallon, NV and the greater Churchill County. This product type will serve our working-class individuals and families, strengthening our local economy and giving our friends and neighbors a beautiful place to call home.

It's been a pleasure getting to know the people behind Summit Building Group. They are truly concerned about the quality of product they bring to each market they serve. The tentative site map being submitted is evidence of a quality affordable housing need for our community. As the current property owner and longtime Fallon Resident I'm pleased to present *Sage Landing* for your consideration on behalf of Summit Building Group.

Sincerely,

A handwritten signature in cursive script that reads "Daniel Munoz".

Daniel Munoz

Managing Member

Diversified Builders LLC