



# AGENDA

## CITY COUNCIL MEETING

55 West Williams Avenue Fallon, NV  
September 05, 2023 at 9:00 AM

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The Honorable City Council will meet in a regularly scheduled meeting on September 5, 2023 at 9:00 a.m. in the City Council Chambers, 55 West Williams Avenue, Fallon, Nevada.

Items on the agenda may be taken out of order. The Council may combine two or more agenda items for consideration. The Council may remove an item from the agenda or delay discussion relating to an item on the agenda at any time. Unless otherwise allowed by the City Council, public comments by an individual will be limited to three minutes.

1. Pledge of Allegiance to the Flag
2. Certification of Compliance with Posting Requirements
3. Public Comments  
General in nature, not relative to any agenda items. No action may be taken on a matter raised under this item until the matter has been specifically included on an agenda as an item upon which action will be taken. **(For discussion only)**
4. Approval of Warrants **(For possible action)**
  - A) Accounts Payable
  - B) Payroll
  - C) Customer Deposit
5. Consideration of application by Rick McCusker for an on-premise drinking establishment liquor license for Elk's Lodge 2239 located at 93 W. Center Street. **(For possible action)**
6. Consideration and possible approval of a Tentative Subdivision Map for Diamond Creek 2 Subdivision. **(For possible action)**
7. Fallon Police Department Monthly Report for July 2023

8. Public Comments (**For discussion only**)
9. Council and Staff Reports (**For discussion only**)
10. Executive Session (**Closed**)

Discuss Litigation Matters (**For discussion only**) (NRS 241 et.seq.)  
Negotiations with Operating Engineers Local Union No. 3 (**For discussion only**)  
Negotiations with Fallon Peace Officers Association (**For discussion only**)

This agenda has been posted on or before 9:00 a.m. on August 30, 2023 at City Hall, District Court Building, Churchill County Office Complex, Churchill County Public Library and posted to the City's website (<https://fallonnevada.gov>) and the State of Nevada public notice website (<https://notice.nv.gov/>). Members of the public may request the supporting material for this meeting by contacting Elsie M. Lee, Deputy City Clerk, City Clerk's Office, City Hall, 55 West Williams Avenue, Fallon, Nevada, 775-423-5104. The supporting material for this meeting is also available to the public on the City's website (<https://fallonnevada.gov>) and the State of Nevada public notice website (<https://notice.nv.gov/>).

/s/ Elsie M. Lee

NOTICE TO PERSONS WITH DISABILITIES: Reasonable effort will be made to assist and accommodate physically handicapped persons desiring to attend the meeting. Please call the City Clerk's Office at 775-423-5104 in advance so that arrangements may be conveniently made.



## CITY OF FALLON REQUEST FOR COUNCIL ACTION

DATE SUBMITTED: August 28, 2023  
 AGENDA DATE: September 5, 2023  
 TO: The Honorable City Council  
 FROM: Elsie Lee, Deputy City Clerk  
 AGENDA ITEM TITLE: Consideration of application by Rick McCusker for an on-premise drinking establishment liquor license for Elk’s Lodge 2239 located at 93 W. Center Street. **(For possible action)**

TYPE OF ACTION REQUESTED:

- |  |  |
|--|--|
| <input type="checkbox"/> Resolution                      | <input type="checkbox"/> Ordinance               |
| <input checked="" type="checkbox"/> Formal Action/Motion | <input type="checkbox"/> Other – Discussion Only |

RECOMMENDED COUNCIL ACTION: Motion to approve application and to issue an on-premise drinking establishment to Rick McCusker for Elk’s Lodge 2239 located at 93 W. Center Street.

DISCUSSION: Rick McCusker, bar manager of Elk’s Lodge 2239 has made an application for an on-premise drinking establishment for Elk’s Lodge 2239 at 93 W. Center Street. A drinking establishment liquor license is a privileged license that allows the licensee to sell alcoholic beverages from a fixed and definite place of business for consumption upon the premises only

FISCAL IMPACT: Annual drinking establishment liquor license fee revenue.

FUNDING SOURCE: N/A.

PREPARED BY: Elsie Lee, Deputy City Clerk



# CITY OF FALLON CLERK'S OFFICE

55 West Williams Avenue, Fallon, Nevada 89406  
Phone: (775) 423-5104  
Fax: (775) 423-8874



Item 5.

## LIQUOR LICENSE APPLICATION

Application Type:  New  Owner Change  Manager Change  Location Change

Applicant Name: MCCUSKER RICK F Application Date: 8-8-23  
Last First MI

Title: BAR MANAGER Phone: (916) 201-9513

Date of Birth: [REDACTED] Driver's License Number: [REDACTED]  
 State: NV

List all addresses in which you have resided at for the past five (5) years.

Begin/End	Physical Address	City	State	Zip
2018-Present	2487 HARVEY DR	FALLON	NV	89406

Business Entity Type:  Sole Proprietor  Partnership  Limited Liability Company  DBA  
 Corporation  Association  Other: \_\_\_\_\_

Business Name: ELKS LODGE 2239

Business Owner(s):

Name	Address	Title
FRATERNAL ORDER OF ELKS		

Business Address: 93 W CENTER ST. FALLON NV 89406  
City State Zip

Provide a brief description of the portion to be occupied by the establishment for which the license is sought:  
BAR, DINING ROOM

Is the premises to be licensed leased by the applicant?  Yes  No

Name of the owner of the premises: \_\_\_\_\_

Name of the owner's authorized agent, if any: \_\_\_\_\_

What type of license for which the application is made:  Retail (Off Premises)  Drinking Establishment (On Premises)

Have you owned or managed any other business?  Yes  No



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If Yes, list the business(es) you have owned or managed.

Begin/End	Name	Address	City	State	Zip

Have you ever been issued a business or a liquor license?  Yes  No

If Yes, when? \_\_\_\_\_ What Agency? \_\_\_\_\_

Have you ever had a business or liquor license revoked?  Yes  No

If Yes, when? \_\_\_\_\_ What Agency? \_\_\_\_\_

Have you ever been denied a business or liquor license?  Yes  No

If Yes, when? \_\_\_\_\_ What Agency? \_\_\_\_\_

Have you received any specialized training for serving alcoholic beverages?  Yes  No

If Yes, explain: OJT BY PREVIOUS BAR MANAGER

Have you ever been arrested?  Yes  No

If Yes, provide the following information:

Date	Charge	Arresting Agency	Disposition

List five (5) references not related to you with daytime phone numbers:

Name	Phone	Relationship
JOHN RILEY	217-6770	FRIEND
AL KIRBY	423 9372	FRIEND
JIM COOPER	714 856 6934	"
BLAKE JOHNSON	287-8952	"
<del>SHAWN GARZA</del>	<del>303 681-3143</del>	<del>SISTER</del>
<u>RAM JASON FENNER</u>		<u>FRIEND</u>

I declare under penalty of perjury that the foregoing is true and correct:

1. That I have received and read a copy of Chapter 5.08 of the Fallon Municipal Code – Alcoholic Beverage Sales;
2. That upon approval of a Liquor License, I will conduct the business and business establishment in accordance with the provisions of the laws of the State of Nevada, the United States, and the ordinances of the City of Fallon applicable to the conduct of business; and
3. That the above information is true and correct to the best of my knowledge and belief and that such declaration is made with the full knowledge that any failure to disclose, misstatement, or other attempt to mislead may be considered sufficient cause for denial of a business license.

John T. Wilby  
Applicant's Signature



# CITY OF FALLON CLERK'S OFFICE

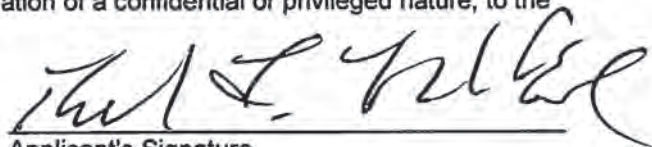
55 West Williams Avenue, Fallon, Nevada 89406

Phone: (775) 423-5104

Fax: (775) 423-8874

## AUTHORIZATION AND RELEASE

I, RICK F. MCCUSKER authorize the Fallon Police Department to perform a background check and to release the results of said investigation, which may include information of a confidential or privileged nature, to the City Council in public documents and/or discussion at a public meeting.

  
Applicant's Signature

OFFICIAL USE ONLY		
10 Print Card _____	Spillman Entry _____	
Photo _____		
Local records _____		Recommended by Chief of Police or Designee
NCJIS _____		
Municipal Code _____		
Fee \$ _____		Not Recommended by Chief of Police or Designee
<b>REVIEWED BY:</b>		
City of Fallon Engineering/Building Department	<u>See attached</u>	Date: _____
City of Fallon Chief of Police	_____	Date: _____
City of Fallon/Churchill County Fire Dept.	_____	Date: _____
City of Fallon Attorney's Office	_____	Date: _____

OFFICIAL USE ONLY:		
Account No. _____	License No. _____	Payment Received By: _____



# CITY OF FALLON CLERK'S OFFICE

55 West Williams Avenue, Fallon, Nevada 89406  
Phone: (775) 423-5104  
Fax: (775) 423-8874

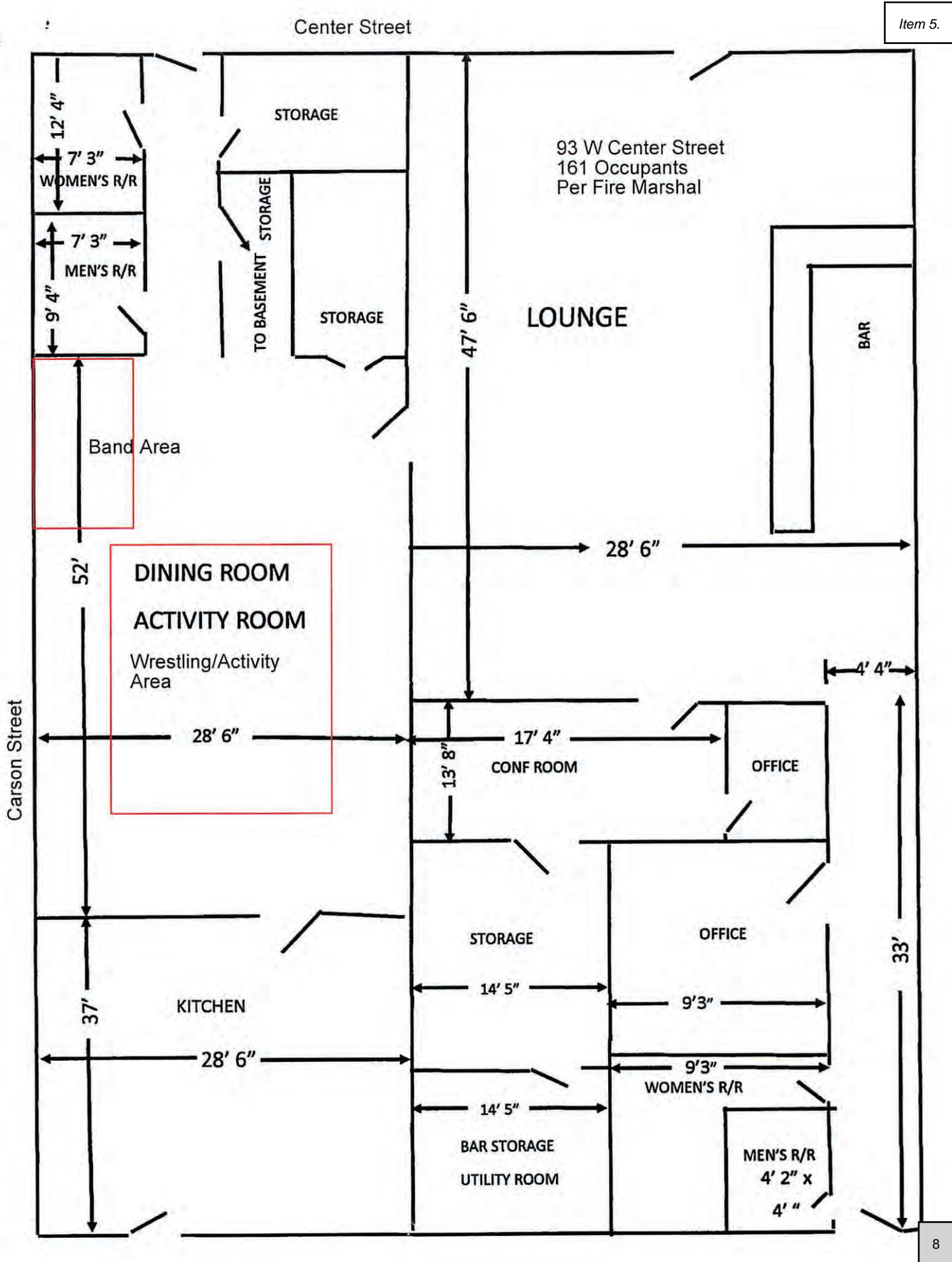
## Privilege License Supplemental Approval Form

Application Date: 8/8/23  
Applicant: Rick McCusker  
Business: Elk's Lodge 2239  
License Type: Liquor License

Application Type:  New  Owner Change  Name Change  Manager Change  Location Change

OFFICIAL USE ONLY			
City of Fallon	Approve	Approve with Conditions	Disapprove
Chief of Police	<u><i>Ronald Weng</i></u>	_____	_____
Engineering/Building Department	<u><i>David M. T.</i></u>	_____	_____
Attorney's Office	<u><i>[Signature]</i></u>	_____	_____
City Clerk's Office	<u><i>[Signature]</i></u>	_____	_____
Fallon/Churchill Fire Dept	<u><i>[Signature]</i></u>	_____	_____
Conditions required for approval: _____			
Committee recommendation for application: <u>Approved</u> <u>Approved with Conditions</u> <u>Disapproved</u>			

OFFICIAL USE ONLY:		
Account No. <b>1010881</b>	License No. <b>7451</b>	Payment Received By:





# FALLON POLICE DEPARTMENT

55 West Williams Avenue  
Fallon, Nevada 89406-2941  
775-423-2111  
Fax: 423-6527

Ronald D. Wenger  
Chief of Police

August 22, 2023

On August 8, 2023 the Fallon Police Department received an application for City Liquor License from Mr. Rick McCusker of 2487 Harvey Lane Fallon Nevada. Mr. McCusker is the Bar Manager for Elks Lodge #2239 located at 93 West Center Street, within the City Limits of Fallon Nevada. Mr McCusker is requesting an "On Premise Liquor License" for the Bar within the Elks Lodge.

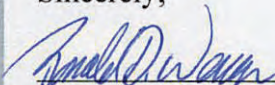
The police department has contacted the provided references and has received no negative comments.

I have met with Mr McCusker regarding components of the Fallon Municipal Code concerning alcoholic beverage sales as well as his responsibilities as owner of the business.

Furthermore, there is a supplemental form that specifically addresses the operation of the business, to include identifying the on-site manager, and acknowledgments from the applicant indicating his understanding he may be held personally responsible for improper business practices.

This letter certifies that Mr McCusker has passed a basic background check which consists of a local records check and reference contacts.

Sincerely,

  
\_\_\_\_\_  
Ronald D Wenger  
Chief of Police

# Liquor License Application Interview Supplement

APPLICANT Rick McCusker

DATE 8/22/2023

BUSINESS NAME – Elks Lodge #2239 93 West Center Street Fallon, Nv 89406

I (will/will not) be the on-site supervisor.

If not, the on-site supervisor will be EARLY BOUTORI CALSKAMITE

I understand that if the on-site supervisor changes, I am responsible to notify the City Clerk’s Office. Initials RFM

I acknowledge that as the license holder, I am personally responsible for what is sold at the store. Initials RFM

I further acknowledge that as the license holder, I am responsible for alcohol sales from the business and may be held personally responsible for alcohol sales that violate any law or ordinance. Initials RFM

I have received, read and understand the Liquor and Business License requirements within the Fallon Municipal Code and agree to abide by those requirements. Initials RFM

Witness: Ronald D Wenger, Chief of Police



# CITY OF FALLON

## REQUEST FOR COUNCIL ACTION

DATE SUBMITTED: August 28, 2023  
 AGENDA DATE: September 5, 2023  
 TO: The Honorable City Council  
 FROM: Derek Zimney, City Engineer  
 AGENDA ITEM TITLE: Consideration and possible approval of a Tentative Subdivision Map for Diamond Creek 2 Subdivision. **(For possible action)**

### TYPE OF ACTION REQUESTED:

- |  |  |
|--|--|
| <input type="checkbox"/> Resolution                      | <input type="checkbox"/> Ordinance               |
| <input checked="" type="checkbox"/> Formal Action/Motion | <input type="checkbox"/> Other – Discussion Only |

**RECOMMENDED COUNCIL ACTION:** Motion to approve the Tentative Subdivision Map for Diamond Creek 2 Subdivision with the condition that a minimum 8 foot high concrete or masonry/CMU block sound wall is required to be installed on the west (rear) property line of Lots 219, 226, 227, 234, 235, and the Southwest Retention Pond Parcel (as shown on the Tentative Map); all of which are adjacent to and share the common property line with the existing Churchill County Maintenance Yard to the west.

**DISCUSSION:** This map would be the first step in creating sixty (60) new single family lots in the proposed subdivision located on the parcel identified as APN 001-841-99.

The City of Fallon City Council first approved a tentative map for this area in 2004. This map has been revised and resubmitted.

This map has been reviewed by Derek Zimney - City Engineer, Brian Byrd – Public Works Director and Bob Erickson – Chief of Staff. Letters of intent and copies of the proposed tentative map have been submitted to the Nevada Department of Environmental Protection, Nevada Division of Water Resources, Truckee-Carson Irrigation District, Churchill County and the Churchill County School District. Responses received are attached.

FISCAL IMPACT: N/A

FUNDING SOURCE: N/A.

PREPARED BY: Derek Zimney, City Engineer

# DIAMOND CREEK PHASE 2



## Tentative Map Application

**First Submittal: October 2022**  
**Revised: May 2023**

**PREPARED FOR:**

***DIAMOND CREEK COMMON LLC***

**ATTN: MR. STEVE RYCKEBOSCH  
6667 S. SAINT ANDREWS COURT  
GILBERT, AZ 85298**

**PREPARED BY:**



***P.O. Box 18790 Reno, NV 89511 (775) 827-6900 Office (775) 750-7956 Cell***

**SUBMITTED TO:**

***CITY OF FALLON***



**PLANNING AND BUILDING DIVISION  
55 WEST WILLIAMS AVENUE  
FALLON, NV 89406**



P.O. Box 18790 Reno, NV 89511 (775) 827-6900 Office (775) 750-7956 Cell

October 6, 2022 (original date)  
May 31, 2023 (revised date)

**City of Fallon**  
55 West Williams Avenue  
Fallon, NV 89406

***RE: DIAMOND CREEK PHASE 2 ~ TENTATIVE MAP***

To Whom It May Concern:

Bighorn Consulting, on behalf of Diamond Creek Common LLC, appreciates your consideration of the enclosed Tentative Map Application for Diamond Creek Phase 2. The property consists of three (3) separate parcels located north of Williams Avenue, west of Sherman Drive and south of Serpa Place in the City of Fallon. The approval of this application will allow for the submittal of the Tentative Map for the proposed residential development. The enclosed Tentative Map Application addresses such items as the preliminary lot and street layouts and preliminary grading and utility designs.

This project provides for medium density single family residential lots and is consistent with the City of Fallon Municipal Code for zoning and master plan designation.

This project was previously approved as a tentative subdivision map by the City of Fallon; however, the project did not meet the statutory requirements for filing of subsequent final subdivision maps to keep the previous tentative map entitlement active. Therefore, this application is essentially a “renewal” of the previously approved tentative subdivision map.

With this application, we are requesting the following:

- Tentative Subdivision Map for a 60 lot single family residential subdivision.
  - Including the future deeding of the existing north retention pond parcel to the City of Fallon (0.25 acres ~ APN 001-841-96)
  - Including the future deeding of the existing and expanded southwest retention pond parcel to the City of Fallon (0.66 acres)
- Therefore, the total number of proposed parcels is 61.

We look forward to working with you and your staff on this project. If you have any questions or require additional information, please feel free to contact us.

Sincerely,  
**Bighorn Consulting**

A handwritten signature in blue ink that reads "Eric Anderson". The signature is written in a cursive style with a large, prominent initial "E".

Eric Anderson, P.E.  
Principal

# TENTATIVE MAP INFORMATION SUMMARY

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**ACTION REQUESTED:** Tentative Subdivision Map Application

**PROJECT NAME:** Diamond Creek ~ Phase 2

**PROJECT DESCRIPTION:** 60 lot single family residential including the future deeding of the existing north retention pond parcel to the City of Fallon (0.25 acres ~ APN 001-841-96) and the future deeding of the existing and expanded southwest retention pond parcel to the City of Fallon (0.66 acres)  
\* TOTAL # OF PROPOSED PARCELS/LOTS = 61

**APNS:** 001-841-98 & 001-841-99

**PROJECT LOCATION:** Section 30, Township 19 North, Range 29 East

**PROPERTY SIZE:** 15.87 acres & 0.38 acres

**EXISTING ZONING:** CITY OF FALLON = R1-7K (7,000 SF minimum)

**SMALLEST LOT SIZE:** 7,033 SF      **LARGEST LOT SIZE:** 11,600 SF

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**PROPERTY OWNER:** Mr. Steve Ryckebosch  
Diamond Creek Common LLC  
6667 S. Saint Andrews Court  
Gilbert, AZ 85298  
(775) 690-7978

**APPLICANT / DEVELOPER(S):** Mr. Steve Ryckebosch  
Diamond Creek Common LLC  
6667 S. Saint Andrews Court  
Gilbert, AZ 85298  
(775) 690-7978

**APPLICATION CONTACT:** Bighorn Consulting  
Attn: Eric Anderson, P.E.  
1055 West Moana Lane, Suite 201  
Reno, NV 89509  
(775) 827-6900  
[eric@bighornconsulting.net](mailto:eric@bighornconsulting.net)



**PROJECT DESCRIPTIONS  
FOR  
DIAMOND CREEK PHASE 2  
RESIDENTIAL DEVELOPMENT**

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**LOCATION and PREVIOUS MAPPING:**

The tentative map project presented in this application was previously approved for a tentative map for 129 lots on December 21, 2004. A final subdivision map called Diamond Creek Phase 1 was recorded on May 20, 2005 (final subdivision map # 370988) for 65 of the 129 lots (see Figure 2 ~ Diamond Creek Phase 1 Final Map). The previous tentative map expired May 20, 2008 by State Statute for not meeting the requirements for the subsequent final map recordation to keep the tentative map entitlement alive and current. See Figure # 1 ~ Vicinity Map.

Therefore, the tentative map project presented in this application is the second tentative map to be presented for the Diamond Creek project. This tentative map application replicates the previous tentative map with some minor lot size adjustments to arrive at the total proposed number of lots of 61. The parcels this project encumbers are 001-841-98 and 99 (see Figure # 3 ~ Assessor’s Parcel Map). Parcel 001-841-98 consists of 0.38 acres and parcel 001-841-99 consists of 15.87 acres (see Figure #4 ~ Assessors Property Details).

**PROJECT DATA:**

<b>TOTAL SITE AREA</b>	<b>+/- 16.25 acres</b>
<b>TOTAL NUMBER OF RESIDENTIAL LOTS</b>	<b>60</b>
<b>SMALLEST LOT</b>	<b>7,033 square feet</b>
<b>LARGEST LOT</b>	<b>11,600 square feet</b>
<b>REVISED SOUTHWEST RETENTION POND PARCEL</b>	<b>0.66 acres</b>
<b>EXISTING NORTH RETENTION POND PARCEL</b>	<b>0.25 acres</b>
<b>(APN 001-841-96)</b>	
<b>TOTAL NUMBER OF PROPOSED PARCELS/LOTS</b>	<b>61</b>

**ADJACENT OWNERSHIP AND USE:**

The surrounding properties are as follows:

- |         |   |
|---------|---|
| (North) | Existing residential lots with R1-7K zoning |
| (East)  | Existing residential lots with R1-7K zoning |
| (South) | Existing railroad easement and vacant land  |
| (West)  | Existing multifamily apartments             |

**PROJECT PHASING:**

It is anticipated that the residential portion of Diamond Creek Phase 2 will be developed in no more than five (5) phases, which averages 12 residential lots per phase. The phases will be final subdivision mapped as Diamond Creek Phase 2 (a through e) and will be determined with market and consumer demands along with associated utility infrastructure connections.

**RETENTION PONDS:**

In discussions with the City of Fallon, the City of Fallon desires to assume the responsibilities of maintaining the existing north retention pond (APN 001-841-96) and the existing/to be expanded southwest retention pond. It has been agreed that the northwest retention pond will be deeded to the City of Fallon after the following have occurred:

- 1) the pond has been cleaned and reconditioned, the existing 3:1 slopes have been cut back to 2:1 slopes and rock rip-rapped, a new 20' access gate is installed, and a maintenance access ramp has been constructed by the project and is deemed functional and acceptable by the City of Fallon; and
- 2) following the recording of the first final subdivision map under this tentative map.

It has been agreed that the southwest retention pond will be expanded by the project (per the approved first final subdivision map grading design and drainage calculations) and the pond will be deeded to the City of Fallon after the following have occurred:

- 1) the pond has been cleaned and reconditioned, the existing 3:1 slopes have been cut back to 2:1 slopes and rock rip-rapped, a new 20' access gate is installed, new fencing is installed, and a maintenance access ramp has been constructed by the project and is deemed functional and acceptable by the City of Fallon; and
- 2) following the recording of the first final subdivision map under this tentative map that creates the pond as its own APN and real property.

**WATER AVAILABILITY:**

The City of Fallon is the water purveyor for this project. Existing domestic water mains were stubbed into the subject property from the construction of the Diamond Creek Phase 1 subdivision. Proposed domestic water main connections will be made with existing water mains located in Augusta Lane, Coral Drive and Diamond Creek Lane. The City of Fallon will determine that adequate domestic water service flows, fire flows/durations, and water main looping requirements are met and are in accordance with all requirements.

**ELECTRICAL AVAILABILITY:**

The City of Fallon will provide the electric service for this project. An underground power source already exists along Augusta Lane, Coral Drive and Diamond Creek Lane. Connections will be made at each of these locations. The City of Fallon's electric service design will determine the extent of the improvements required to provide adequate service to this project.

**TELEPHONE AVAILABILITY:**

CC Communications will provide the telephone service for this project. A telephone source already exists along Augusta Lane, Coral Drive and Diamond Creek Lane. CC Communication's telephone service design will determine the extent of the improvements required to provide adequate service to this project.

**NATURAL GAS AVAILABILITY:**

Southwest Gas will provide the natural gas service for this project. Proposed gas main connections will be made with existing gas mains located in Augusta Lane, Coral Drive and Diamond Creek Lane. With this development, a gas main loop will be created between all of the existing adjacent gas facilities. Southwest Gas' natural gas service design will determine the extent of the improvements required to provide adequate service to this project.

**CABLE AVAILABILITY:**

Charter Communications will provide the cable service for this project. A cable source already exists along Augusta Lane, Coral Drive and Diamond Creek Lane. Charter Communication's cable service design will determine the extent of the improvements required to provide adequate service to this project.

**SEWAGE DISPOSAL AVAILABILITY:**

The City of Fallon will provide sanitary sewer service for this project. The residential lots will be served by a newly constructed gravity sanitary sewer system. This gravity system will connect into the existing sanitary sewer system located in Augusta Lane, Coral Drive and Diamond Creek Lane.

**STORM DRAINAGE:**

The site was previously mass-graded and two retention ponds (north pond and southwest pond) were constructed with the Diamond Creek Phase 1 improvements. All storm water produced from the development of this project will utilize overland flow to convey storm water through a system of roadside curbs and gutters, storm drains, and valley gutters. The storm water conveyance systems will drain into the two existing retention ponds, which were planned with the previous tentative map and the Diamond Creek Phase 1 improvements.

Reference Appendix B for updated Tentative Map Drainage Report.

According to FEMA'S Flood Insurance Rate Map, 32001C1732F, dated September 26, 2008, the site lies in Zone X. Zone X is defined as a flood insurance zone that corresponds to areas outside the 500-year flood plain.

**FIRE PROTECTION:**

The Fallon/Churchill Volunteer Fire Department is located approximately 1 mile from this project. The fire emergency vehicle travel time is suitable due to the ability to travel east on Williams Avenue and north on Sherman Street to the project site. The fire department chief and the project engineer will cooperatively locate the required fire hydrants within the project.

**EMERGENCY MEDICAL SERVICES:**

The Banner Churchill Community Hospital is located on the corner of Williams Avenue and Sherman Street, less than 0.5 miles south of the project. The City of Fallon Police Department is located less than 1.0 mile southwest of this project.

**LEGAL ACCESS:**

There will be a total of three primary public access points to this project. Two of the access points on the north side of the project are located off Coral Drive with one at Diamond Creek Lane and the second from Coral Drive. The other access point on the east side of the project is from Augusta Lane. Each of these access locations are existing 60 foot City of Fallon right-of ways. The timing of the construction of the individual access locations will be determined by the specific phasing of the final maps.

**SERPA PLACE:**

The previous Diamond Creek Tentative Map included APN 001-841-97 (1.64 acres) as 3 proposed single family residential lots and a remainder commercial parcel. It was previously proposed that Serpa Place would be constructed from Diamond Creek Lane on the west to Sherman Street on the east with the subdividing of both APN 001-841-98 and 001-841-97 via a final subdivision map that would create the 5 single family residential lots and the remainder commercial parcel.

The remaining portion of Serpa Place will be constructed with the first phase of development from the east side of Diamond Creek Lane to the east to the west side of Sherman Street.

With this current proposed tentative map project, APN 001-841-97 is not a part and is excluded from this proposed entitlement. At the point in the future, it is the intention to change the zoning of APN 001-841-97 to R-C so that it has the potential to be developed, or subdivided and developed under the provisions of the R-C Zoning code.

**LANDSCAPE MAINTENANCE AND CC&Rs:**

A maintenance association exists for the lots located within Diamond Creek Phase 1 and is named "Diamond Creek Flood Control Maintenance Association." In May of 2006, Bighorn Consulting and the City of Fallon's legal counsel rewrote the language associated with the maintenance association stated above. The amended document for the maintenance association

has not recorded as of this date. Prior to the submittal of the first final subdivision map on Diamond Creek Phase 2, this maintenance association document shall be reviewed and prepared for recordation as well as take into consideration the current agreement between the City of Fallon and the project regarding the deeding of the two retention pond parcels.

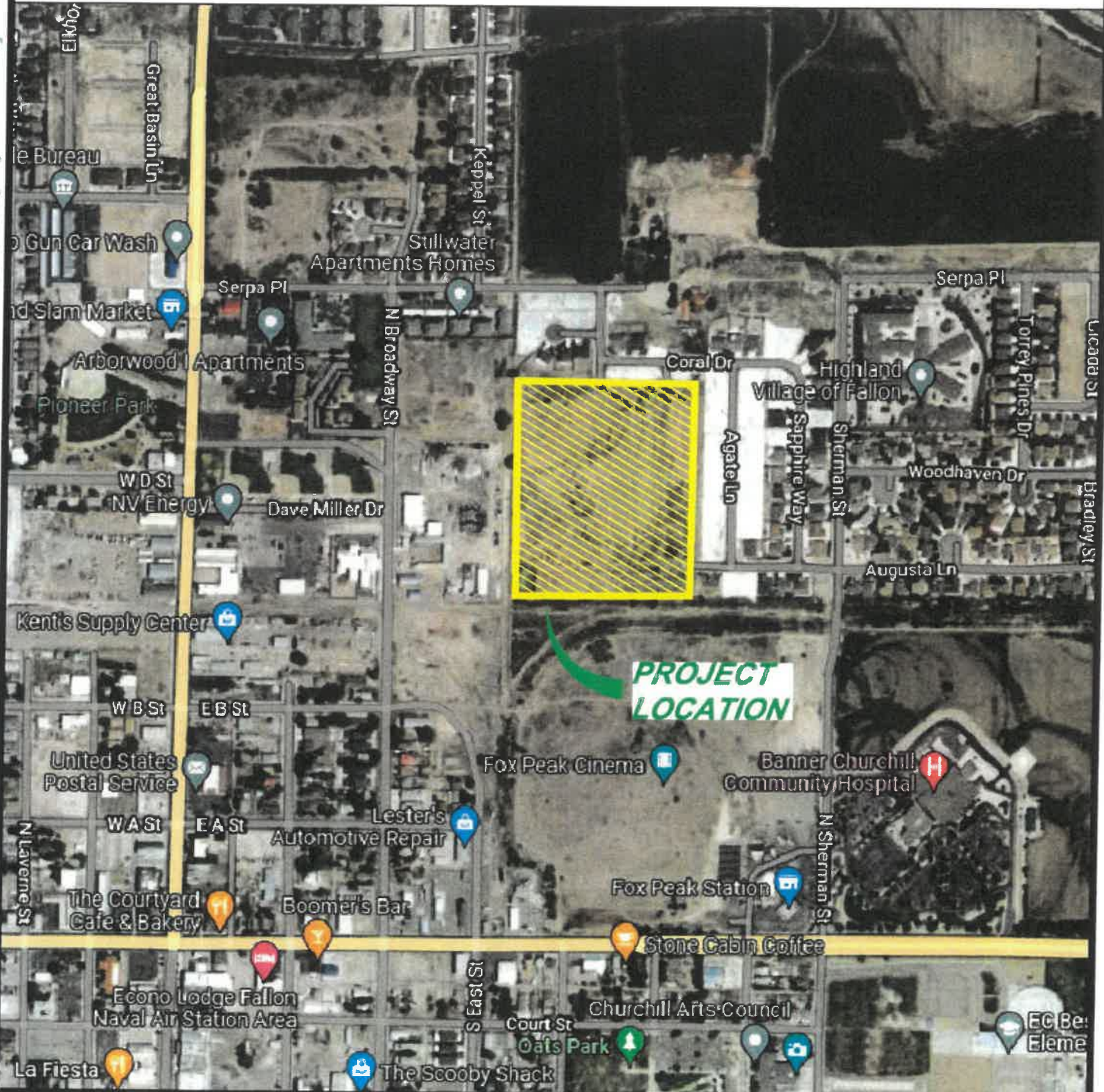
**LANDSCAPING**

The landscaping within the residential portion of the project will consist of permanent front yard landscaping based on a typical front yard landscape design determined by the homebuilder.

**PROPOSED STREET NAMES:**

Diamond Creek Lane	Augusta Lane	Emerald Drive
Diamond Creek Court	Opal Court	Ruby Court

# FIGURE #1



**DIAMOND CREEK PHASE 2**

**TENTATIVE SUBDIVISION MAP**

**VICINITY MAP**

**SCALE: N.T.S.**

**FALLON**

**NEVADA**

**OCTOBER 2022**

**BIGHORN**  
C.O.N.S.U.L.T.I.N.G.

P.O. BOX 18780 RENO, NEVADA 89511  
OFFICE: 775.827.8900 FAX: 775.825.8188

**SHEET**

**FIG-1**

**OF**

**1**

"THE DESIGN CONSULTANT PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, ANY UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS."

# TENTATIVE MAP FOR DIAMOND CREEK ~ PHASE 2

CITY OF FALLON

NEVADA



VICINITY MAP

SITUATED WITHIN SECTION 30,  
TOWNSHIP 19 N., RANGE 29 E., M.D.M.

**OWNER**  
DIAMOND CREEK COMMON LLC  
6667 S. SAINT ANDREWS COURT  
GILBERT, AZ 85298  
REPRESENTATIVE: MR. STEVE RYCKEBOSCH  
1.775.690.7978

**BASIS OF BEARING:**

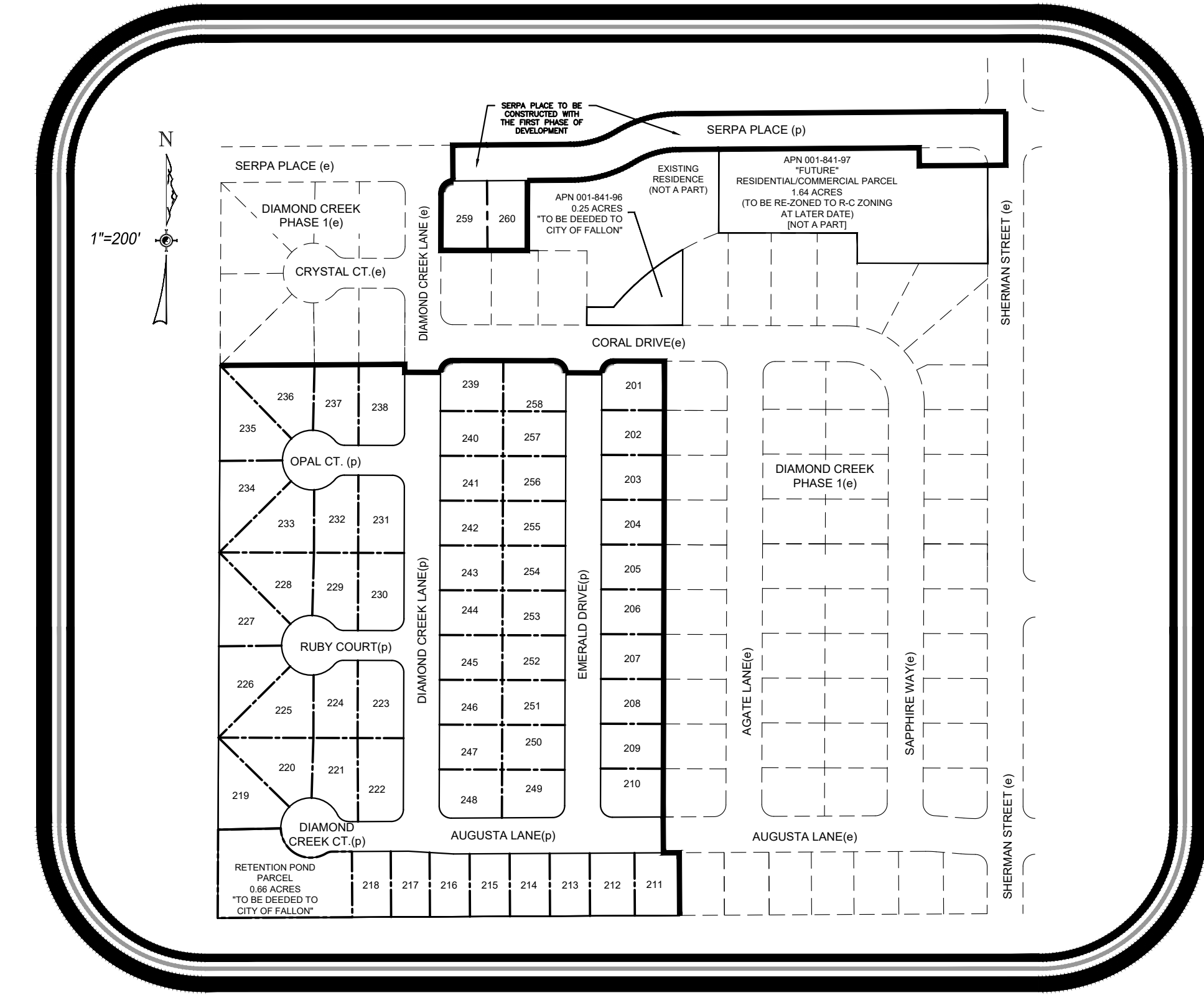
N 00° 30' 26" E ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 30, TOWNSHIP 19 NORTH, RANGE 29 EAST, M.D.B. & M.

**SITE INFORMATION:**

APNS: 001-841-98 & 001-841-99  
AREA: 0.38 ACRES & 15.87 ACRES  
ZONING: R1-7K  
LAND USE: SINGLE FAMILY RESIDENTIAL

**SITE DEVELOPMENT CALCULATIONS**

TOTAL # OF SFR LOTS = 60  
SMALLEST LOT SIZE = 7,033 S.F.  
LARGEST LOT SIZE = 11,600 S.F.  
RETENTION POND PARCELS TO BE DEEDED TO THE CITY OF FALLON:  
• EXISTING NORTH POND (APN 001-841-96) = 0.25 ACRES  
• SOUTHWEST POND = 0.66 ACRES  
TOTAL # OF PARCELS = 61



SITE PLAN

**UTILITIES**

- CABLE - CHARTER COMMUNICATIONS
- ELECTRICAL - CITY OF FALLON
- SEWER - CITY OF FALLON (Community System)
- SOLID WASTE - CITY OF FALLON
- TELEPHONE - CC COMMUNICATIONS
- GAS - SOUTHWEST GAS
- WATER - CITY OF FALLON (Public Water System)

**SHEET INDEX**

DRAWING	DESCRIPTION
T-1	TITLE SHEET
T-2	NOTES & SPECIFICATIONS SHEET
T-3	SITE PLAN
T-4	GRADING & DRAINAGE PLAN
T-5	UTILITY PLAN
T-6	SECTIONS SHEET

**ENGINEER'S STATEMENT**

I, ERIC P. ANDERSON, DO HEREBY CERTIFY THAT THESE TENTATIVE MAP PLANS HAVE BEEN COMPLETED BY ME, OR UNDER MY SUPERVISION AND ARE IN COMPLIANCE WITH ALL APPLICABLE PROVISIONS SET FORTH BY THE CITY OF FALLON MUNICIPAL CODE AND THE STATE OF NEVADA REVISED STATUTES.



ERIC P. ANDERSON

P.E. #17780



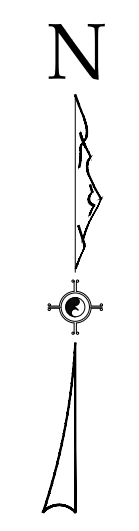
TENTATIVE MAP FOR  
DIAMOND CREEK ~ PHASE 2  
TITLE SHEET

Date: 5.31.2023  
Drawn By: EPA  
Designed By: EPA  
Checked By: EPA

T-1  
1 OF 6







**SITE INFORMATION**

APNS: 001-841-98 & 001-841-99  
 AREA: 0.38 ACRES & 15.87 ACRES  
 ZONING: R1-7K  
 LAND USE: SINGLE FAMILY RESIDENTIAL

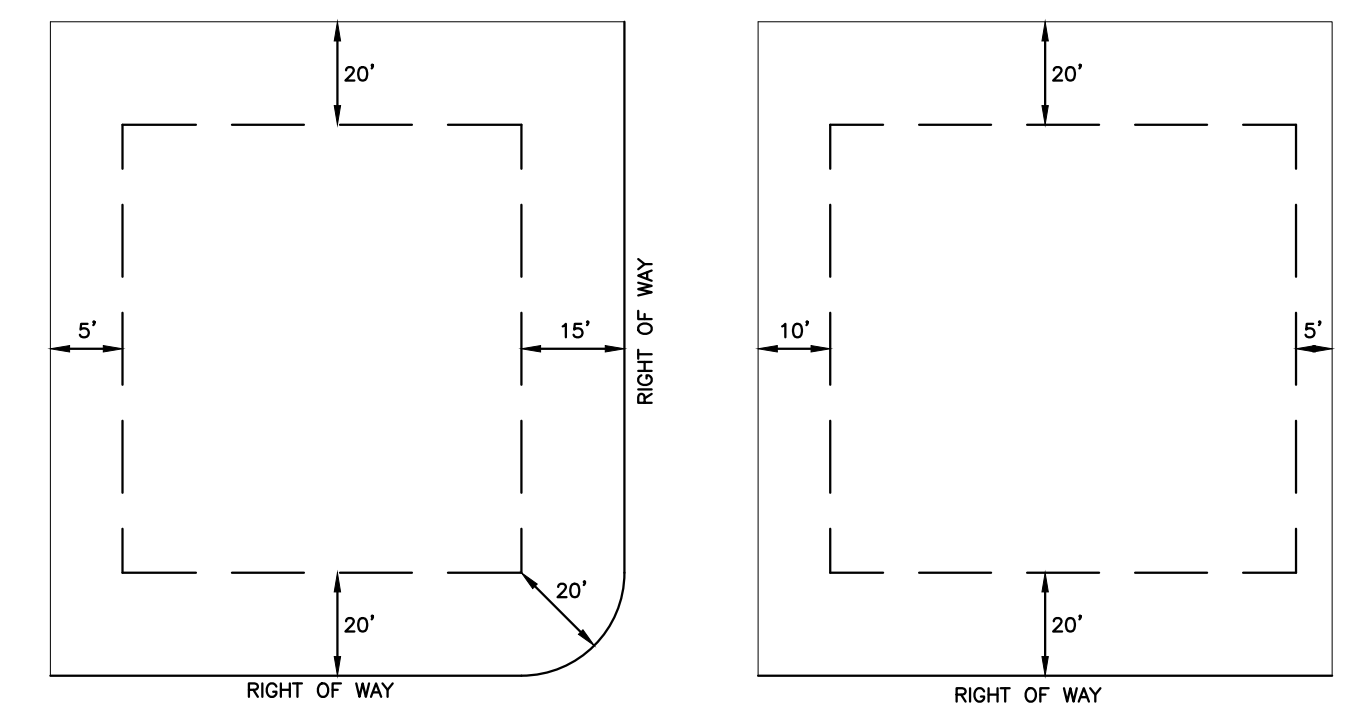
**SITE DEVELOPMENT CALCULATIONS**

TOTAL # OF SFR LOTS = 60  
 SMALLEST LOT SIZE = 7,033 S.F.  
 LARGEST LOT SIZE = 11,600 S.F.

RETENTION POND PARCELS TO BE DEEDED TO THE CITY OF FALLON:

- EXISTING NORTH POND (APN 001-841-96) = 0.25 ACRES
- SOUTHWEST POND = 0.66 ACRES

TOTAL # OF PARCELS = 61



TYPICAL SETBACKS (CORNER LOT)  
 TYPICAL SETBACKS (MID-BLOCK LOT)

**SECTIONS NOTE**  
 REF. DETAIL SHEET FOR ALL SECTIONS

SEE SHEET T-2 FOR NOTES AND SPECIFICATIONS

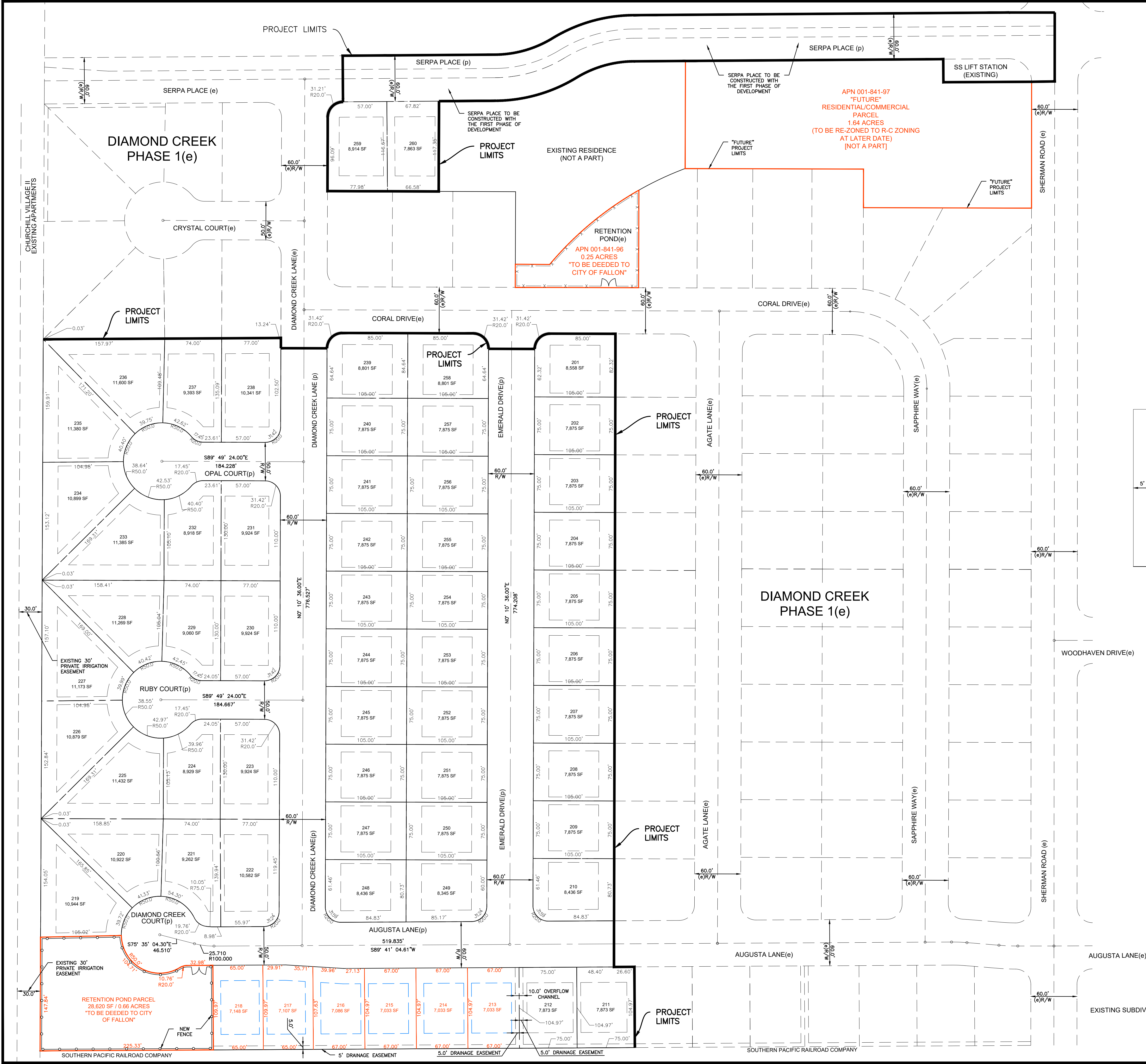
Avoid cutting underground utility lines. It's costly.  
 Call you Dtg  
 1-800-227-2600  
 UNDERGROUND SERVICE (USA)



TENTATIVE MAP FOR  
 DIAMOND CREEK ~ PHASE 2  
 SITE PLAN

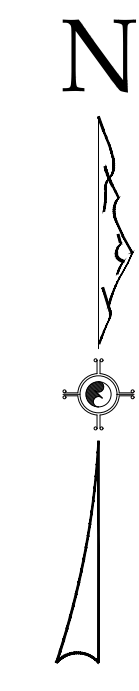
Date: 5.31.2023  
 Drawn By: EPA  
 Designed By: EPA  
 Checked By: EPA

T-3  
 3 OF 6



5/31/2023 14:45:23 PM N:\BIGHORN\PROJECTS\DiamondCreek\2022-DC-BMC\2022-ItemMap\Site\2023\T-3.DWG TKN\Map\_Site.dwg Thank You for Choosing Bighorn Consulting!



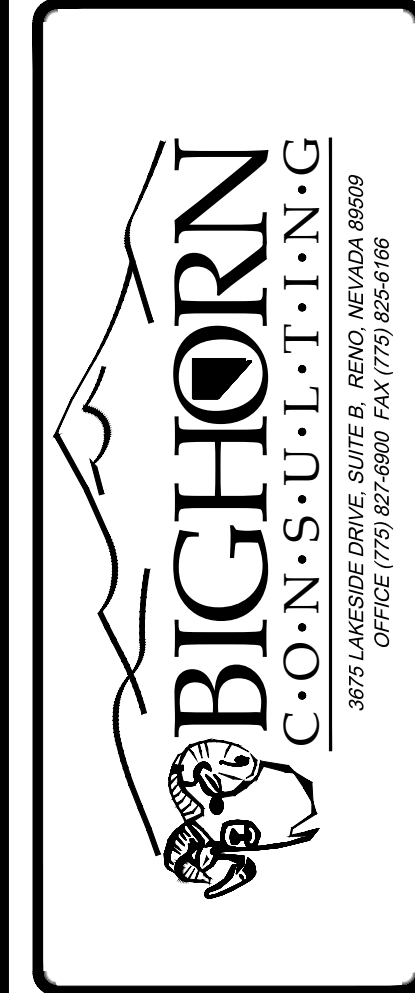


**SITE INFORMATION**

APNS: 001-841-98 & 001-841-99  
 AREA: 0.38 ACRES & 15.87 ACRES  
 ZONING: R1-7K  
 LAND USE: SINGLE FAMILY RESIDENTIAL

**UTILITY LEGEND**

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PROPOSED EDGE OF PAVEMENT
---	EXISTING EDGE OF PAVEMENT
---	FLOWLINE AND DIRECTION
---	PROPOSED BACK OF CURB
---	EXISTING BACK OF CURB
---	PROPOSED SIDEWALK
---	PROPOSED ADA RAMP
---	PROPOSED FENCE
---	PROPOSED WATER
---	EXISTING WATER
---	PROPOSED FIRE HYDRANT (PUBLIC)
---	EXISTING FIRE HYDRANT
---	EXISTING GATE VALVE
---	PROPOSED TEE W/ THRUST BLOCK
---	PROPOSED GATE VALVE
---	PROPOSED AIR RELEASE VALVE ASSEMBLY
---	PROPOSED FLUSH VALVE ASSEMBLY
---	PROPOSED SEWER SIZE & DIRECTION
---	EXISTING SEWER SIZE & DIRECTION
---	EXISTING SEWER LATERAL
---	PROPOSED SS MANHOLE
---	EXISTING SS MANHOLE
---	PROPOSED STORM DRAIN SIZE & DIRECTION
---	EXISTING STORM DRAIN SIZE & DIRECTION
---	PROPOSED CATCH BASIN
---	EXISTING CATCH BASIN
---	PROPOSED SD MANHOLE
---	EXISTING SD MANHOLE
---	PROPOSED FLARED END SECTION



NEVADA

CITY OF FALLON

TENTATIVE MAP FOR  
DIAMOND CREEK ~ PHASE 2  
UTILITY PLAN

**SEE SHEET T-2 FOR NOTES AND SPECIFICATIONS**

**SECTIONS NOTE**  
REF. DETAIL SHEET FOR ALL SECTIONS

**ALL UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. CONTRACTOR TO LOCATE AND VERIFY.**

**SEE ELECTRICAL PLANS BY OTHERS FOR SITE ELECTRICAL**

**REF. PLANS BY PUBLIC UTILITY PURVEYORS FOR ON-SITE ELECTRICAL, GAS, PHONE, & CABLE SERVICES.**

**Call before you Dig**  
1-800-277-2600  
www.callbeforeyoudig.com

**DE-WATERING NOTE:**  
CONTRACTOR SHALL PROVIDE ALL NECESSARY DE-WATERING TO PROPERLY CONSTRUCT ALL IMPROVEMENTS. IT SHOULD BE NOTED THAT GROUNDWATER CAN FLUCTUATE THROUGHOUT CLIMATIC CHANGES AND SEASONS WHICH CAN CAUSE DE-WATERING WHEN IT IS NOT ANTICIPATED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ANTICIPATE DE-WATERING ISSUES AND SITUATIONS LOCATED WITHIN THE PROJECT SITE.

ALL WATER MAINS SHALL BE DISINFECTED AND TESTED PER AWWA C651.

ALL WATER MAINS SHALL BE PRESSURE TESTED IN ACCORDANCE WITH AWWA C605.

REFERENCE DETAIL SHEET FOR NDEP VERTICAL CROSSING CONFLICT SUMMARY FOR ALL WATER LINE CROSSINGS WITH SEWER AND STORM DRAIN. THE MINIMUM MITIGATED VERTICAL SEPARATION AT CROSSINGS SHALL NOT BE LESS THAN 6".

ALL POTABLE WATER PIPES, MATERIALS, & APPURTENANCES MUST BE NSF/ANSI 61 CERTIFIED AS COMPATIBLE WITH DRINKING WATER & THIRD PARTY CERTIFIED AS LEAD FREE. (CONTRACTOR IS RESPONSIBLE FOR CERTIFICATION OF RATINGS BEING SATISFIED)

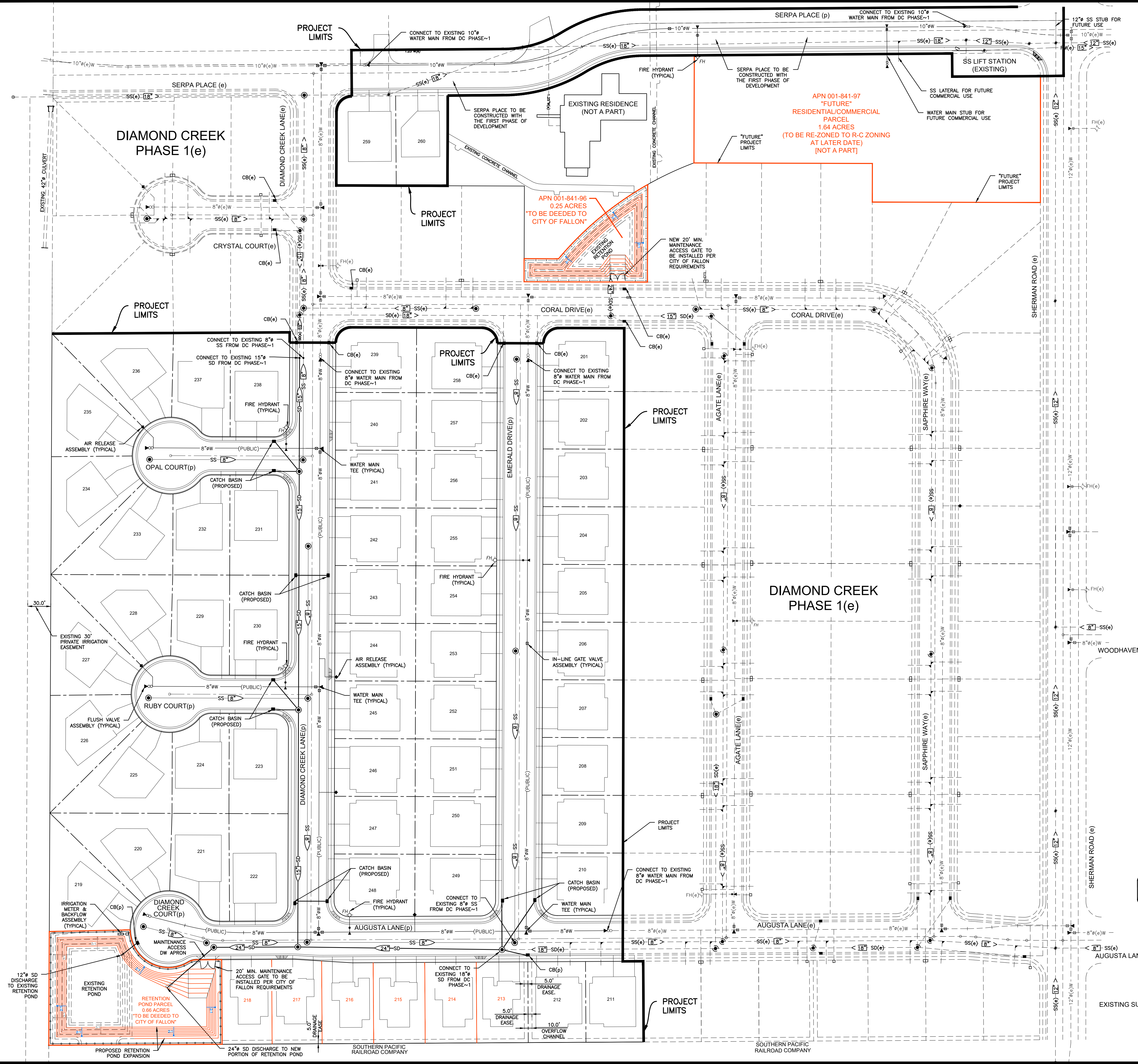
MAINTAIN POTABLE WATER AND SSSI/DON-POTABLE HORIZONTAL AND VERTICAL CLEARANCES AS SPECIFIED IN NAC SECTION 445A. THE MINIMUM MITIGATED VERTICAL SEPARATION AT CROSSINGS SHALL NOT BE LESS THAN 6".

**NOTE:**  
BIGHORN CONSULTING IS NOT RESPONSIBLE FOR WATER ANALYSIS, INCLUDING PIPE SIZING AND WATER PRESSURES.

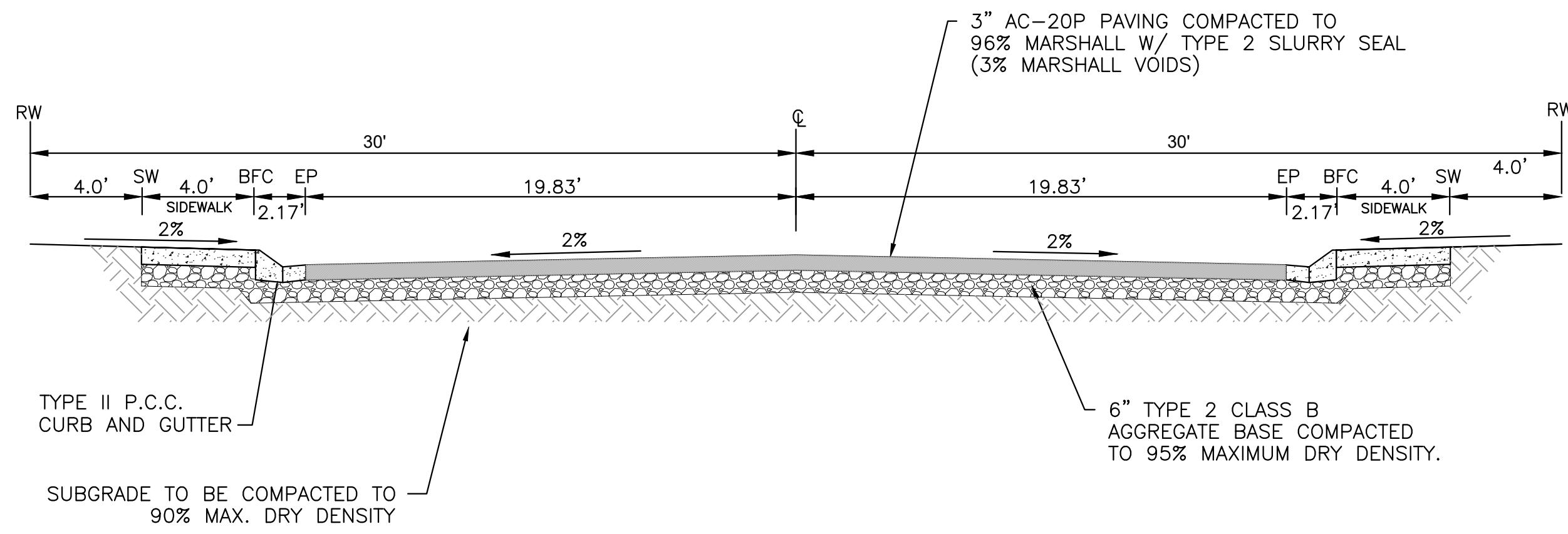


Date: 5.31.2023  
 Drawn By: EPA  
 Designed By: EPA  
 Checked By: EPA

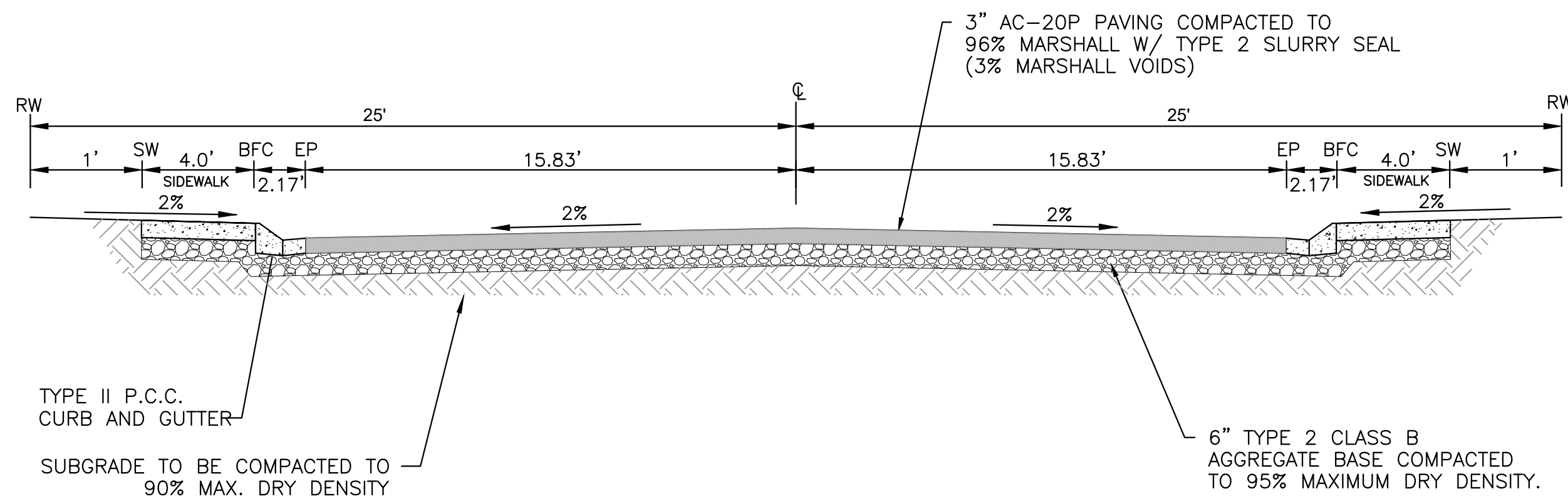
**T-5**  
5 OF 6



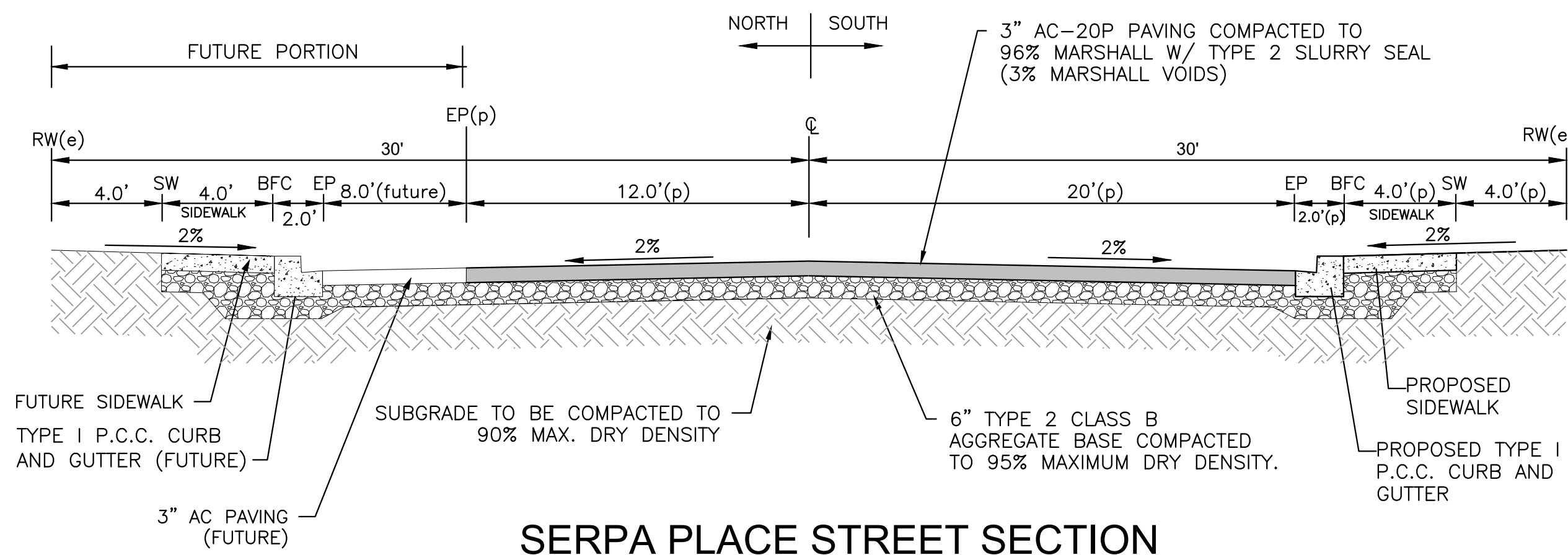
5.31.2023 14:24:48 PM N:\BIGHORN\PROJECTS\DiamondCreek\2022-DC-BMC\2022-ItemMap\UTILTY.dwg, Thank You for Choosing Bighorn Consulting!



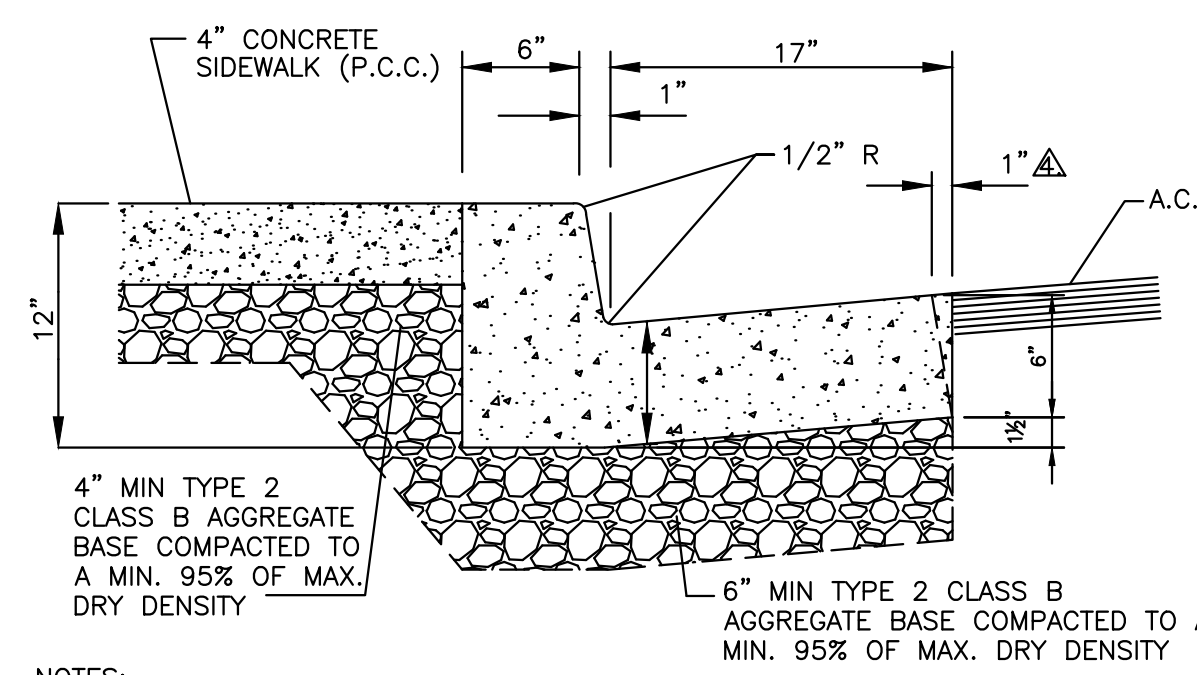
**LOCAL STREET SECTION**  
(60' RIGHT OF WAY)



**CUL-DE-SAC STREET SECTION**  
(50' RIGHT OF WAY)

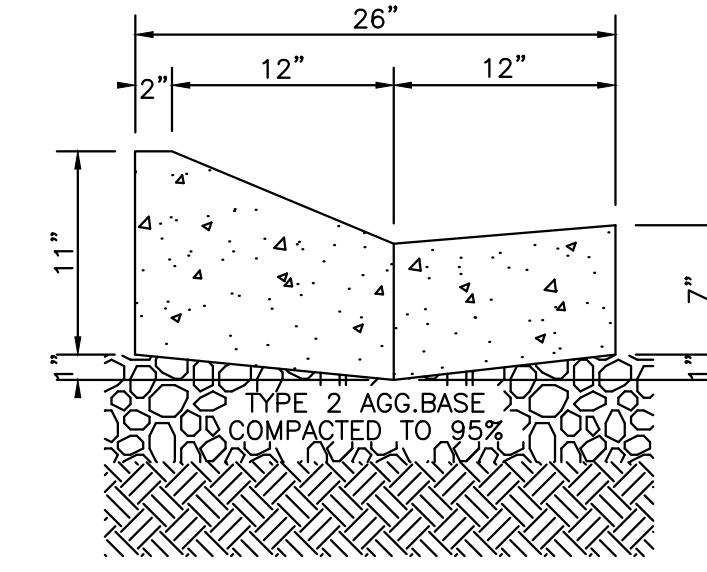


**SERPA PLACE STREET SECTION**  
(3/4 SECTION IMPROVED, 1/4 SECTION FUTURE)



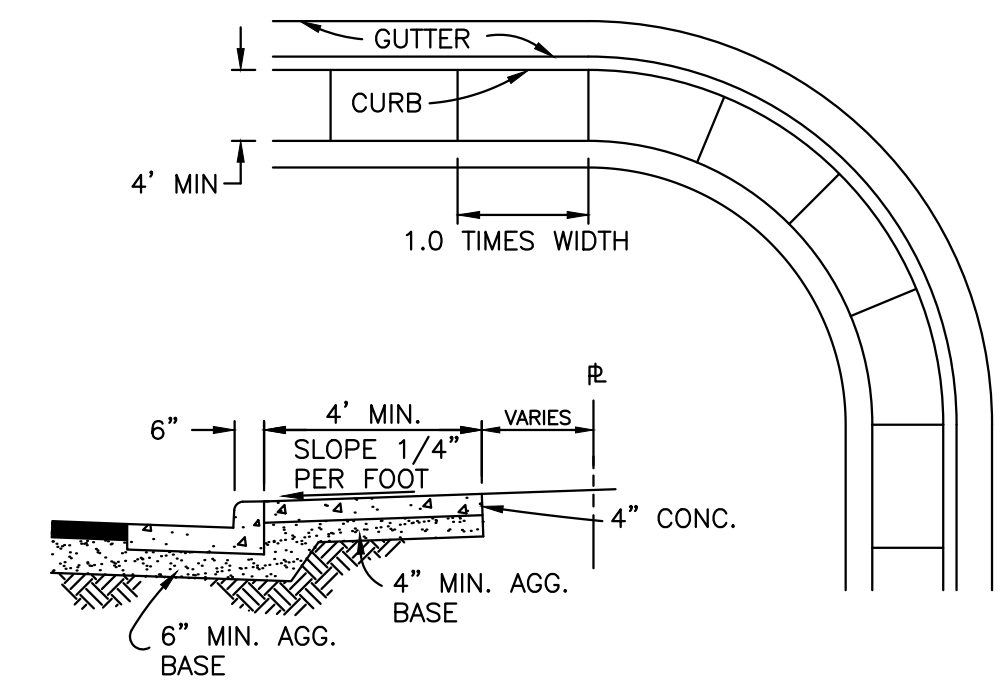
- NOTES:**
- FIBER-REINFORCED PORTLAND CEMENT CONCRETE (P.C.C.) SHALL HAVE THE FOLLOWING CHARACTERISTICS: 4000 PSI MIN. COMPRESSIVE STRENGTH @ 28 DAYS, MIN. 6 SACKS OF CEMENT PER CUBIC YARD WITH A MAX. WATER/CEMENT RATIO OF 0.45, AIR ENTRAINMENT 6% ±1.5%, SLUMP AT 1-4 INCHES. ALL MATERIALS SHALL CONFORM TO SSPWC SECTION 202. POLYPROPYLENE FIBERS SHALL BE ADDED TO THE P.C.C. PER THE MANUFACTURER'S RECOMMENDATIONS.
  - EXPANSION JOINTS 1/2" WIDE SHALL BE LOCATED IN CURBS AND GUTTERS AT EA. SIDE OF STRUCTURES, AT THE ENDS OF ALL CURB RETURNS, AND ABUTTING HARDENED IN-PLACE CURB AND GUTTER, EXCEPT THAT EXPANSION JOINTS SHALL NOT BE INSTALLED WITHIN 20 FEET OF AN ISLAND NOSE. EXPANSION JOINTS SHALL BE 1/2" THICK, SHAPED TO THE CROSS SECTION OF THE CURB AND GUTTER, AND CONSTRUCTED AT RIGHT ANGLES TO THE CURB AND GUTTER. JOINT FILLER MATERIAL SHALL CONFORM TO SSPWC SECTION 202.10. WEAKENED PLANE JOINTS SHALL BE EVERY 10 FEET AND LOCATED ON THE BACK, TOP AND FACE OF THE CURB AND THE TOP OF THE GUTTER PAN.
  - CURB & GUTTER SECTIONS SHALL BE PLACED SEPARATELY FROM SIDEWALK SECTIONS.
  - "BATTERED" CONSTRUCTION ALLOWED FOR NEW CONSTRUCTION, WHILE "VERTICAL CONSTRUCTION PERMITTED FOR RECONSTRUCTION.
  - WHERE ALTERNATE STANDARDS OF CURB AND GUTTER EXIST, AND THE REPLACEMENT CURB AND GUTTER IS GREATER THAN 20 CONTINUOUS FEET IN LENGTH, TYPE 1 CURB AND GUTTER SHALL BE INSTALLED WITH THE APPROPRIATE TRANSITIONS TO MATCH INTO THE EXISTING CURB AND GUTTER, IF DIRECTED BY THE CITY ENGINEER.
- WHEN SIDEWALK IS NOT REQUIRED, BACKFILL BEHIND THE CURB TO THE TOP FOR A HORIZONTAL DISTANCE OF 12" FROM BACK FACE OF CURB, WITH A MATCH TO EXISTING GRADE OF NOT EXCEEDING A 3:1 SLOPE.

**TYPE 1 P.C.C. CURB & GUTTER**



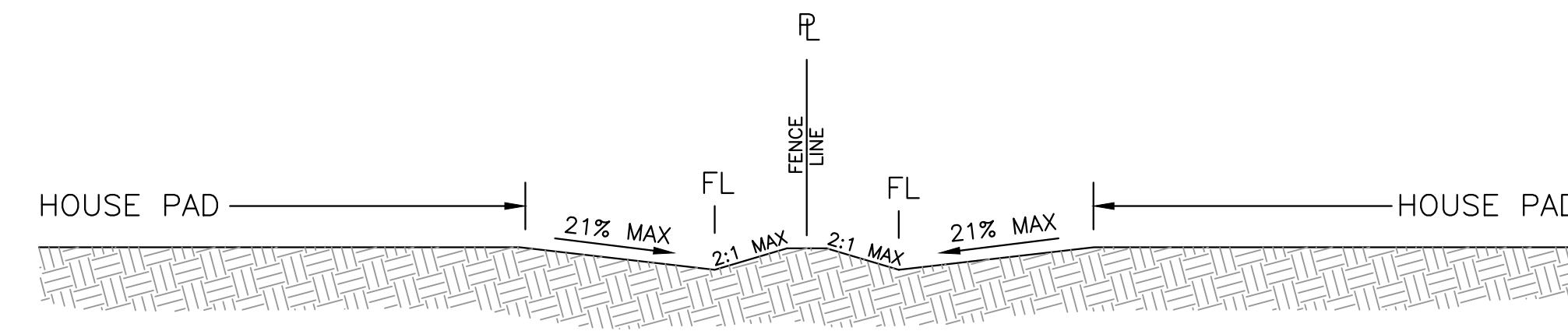
- NOTES:**
- ALL P.C.C. CURB, GUTTER AND SIDEWALK SHALL BE CLASS AA OR DA CONCRETE UNLESS OTHERWISE SPECIFIED
  - ALL CONCRETE CURB, GUTTER AND SIDEWALK SHALL HAVE 1/2" EXPANSION JOINTS EVERY 30' (UNLESS APPROVED OTHERWISE BY THE ENGINEER) AND AT ALL CURB RETURNS AND SHALL HAVE WEAKENED PLANE JOINTS EVERY 10 FEET.
  - AGGREGATE BASE MATERIAL SHALL CONFORM TO THE SPECIFICATIONS FOR TYPE 2 AGGREGATE BASE AND BE COMP. TO A MIN. 95% MAX. DRY DENSITY.

**TYPE 2 PCC CURB & GUTTER**

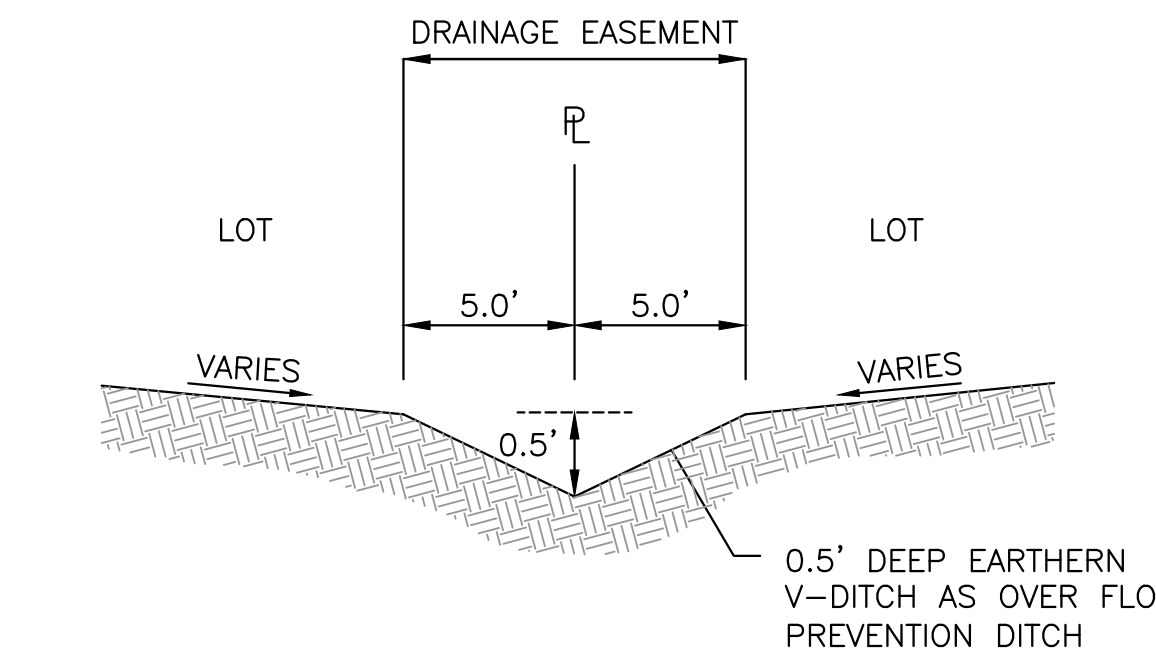


- NOTES:**
- ALL P.C.C. CURB, GUTTER, AND SIDEWALK SHALL BE CLASS AA OR DA CONCRETE UNLESS OTHERWISE SPECIFIED (4000 PSI)
  - MIN. CURB RETURN RADIUS SHALL BE 20 FEET UNLESS OTHERWISE SPECIFIED.
  - ALL CONCRETE CURB, GUTTER, AND SIDEWALK SHALL HAVE 1/2" EXPANSION JOINTS EVERY 30' (UNLESS APPROVED OTHERWISE BY THE ENGINEER) AND AT ALL CURB RETURNS AND SHALL HAVE WEAKENED PLANE JOINTS NO GREATER THAN EVERY 10 FEET.
  - ALL AGGREGATE BASE SHALL BE TYPE 2 CLASS B.
  - ALL WEAKENED PLANE JOINTS SHALL BE IN CONFORMANCE TO SECTION 312.09.02 SSPWC

**TYPICAL SIDEWALK**



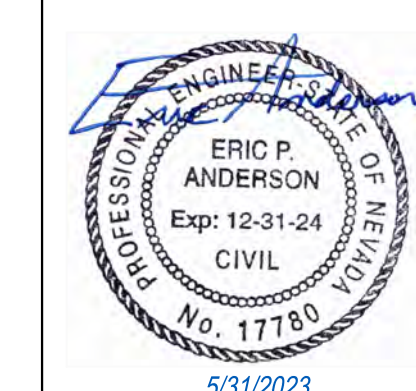
**TYPICAL LOT CROSS SECTION**



**TYPICAL OVERFLOW CHANNEL SECTION**

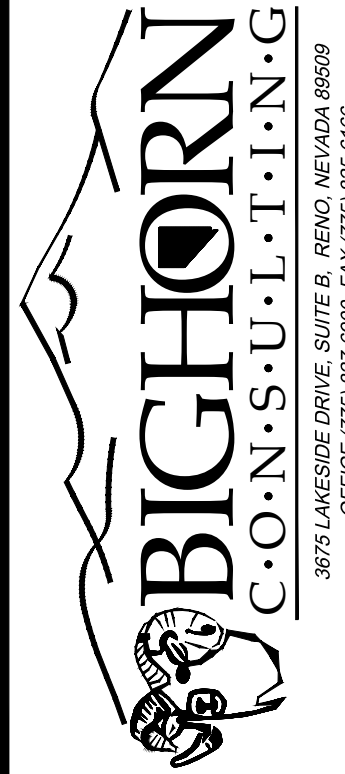
**NOTE:**  
ALL DETAILS  
NOT TO SCALE.

**NOTE:**  
BIGHORN CONSULTING IS NOT RESPONSIBLE FOR ANY STRUCTURAL CALCULATIONS AND/OR DESIGN. THIS INCLUDES, BUT IS NOT LIMITED TO, SOUND OR RETAINING WALLS, BUILDING FOUNDATIONS, FOOTINGS, FENCING, TRASH ENCLOSURES, MASONRY, MONUMENT OR OTHER SIGNS, AND SPECIAL INSPECTION REQUIREMENTS OF SAID STRUCTURAL ELEMENTS.



Date: 5.31.2023  
Drawn By: EPA  
Designed By: EPA  
Checked By: EPA

**T-6**  
6 OF 6



TENTATIVE MAP FOR  
DIAMOND CREEK ~ PHASE 2  
SECTIONS SHEET

CITY OF FALLOM

NEVADA

Item 6.



## CHURCHILL COUNTY ROAD DEPARTMENT

330 N. Broadway Street Fallon, NV 89406

(775) 423-4133 Fax (775) 423-7285

August 1, 2023

City of Fallon  
55 W. Williams Avenue  
Fallon, NV 89406  
Attn: Derek Zimney

Mr. Zimney;

The Churchill County Road Department's normal hours of operation are Monday through Friday from 6:00 a.m. to 4:30 p.m. However, during winter weather conditions or for emergency callouts, our equipment may operate at any given time during the day or night.

We are requesting that during the City's review of the map for the expansion of the subdivision behind our equipment yard, a sound wall be required from the developer. This will help to keep the sound level of heavy equipment, like backup alarms, to a minimum.

If you have any questions, please contact me.

Regards,

Gary Fowkes  
Churchill County Road Department Supervisor



August 1, 2023

Derek Zimney, P.E.  
City Engineer, City of Fallon  
55 West Williams Ave.  
Fallon, NV 89406

**Re: Tentative Map - Diamond Creek Phase 2  
60 lots in the City of Fallon**

Dear Mr. Zimney,

The Nevada Division of Environmental Protection has reviewed the above referenced subdivision and recommends approval of said subdivision with respect to water pollution and sewage disposal, provided that the City of Fallon commits to providing water and sewage service to said subdivision.

Please note that the Division requires coverage under the NDEP's Construction Stormwater General Permit NVR100000 if a subdivision will disturb one (1) or more acres and may require coverage under the NDEP's Construction Stormwater General Permit NVR100000 if the subdivision is within a quarter (¼) mile radius of a Waters of the United States. A Notice of Intent must be filed electronically and submitted with the proper fees prior to commencing any earth-disturbing activities at the site. Visit NDEP's Bureau of Water Pollution Control Stormwater website at <https://ndep.nv.gov/water/water-pollution-control/permitting/stormwater-discharge-permits> for more information about this permit.

Sincerely,

Katura Tullar, E.I.  
Technical Services Branch  
Bureau of Water Pollution Control

ec: Steve Shell, DWR, [sshell@water.nv.gov](mailto:sshell@water.nv.gov)  
David Friedman, BCA, [dfriedman@ndep.nv.gov](mailto:dfriedman@ndep.nv.gov)  
Julia Hoeh, BCA, [jhoeh@ndep.nv.gov](mailto:jhoeh@ndep.nv.gov)  
Derek Zimney, P.E., City of Fallon, [dzimney@fallonnevada.gov](mailto:dzimney@fallonnevada.gov)  
Eric Anderson, P.E., Bighorn Consulting, [eric@bighornconsulting.net](mailto:eric@bighornconsulting.net)

Control No. 15558

## Derek Zimney

---

**From:** Steve Shell <sshell@water.nv.gov>  
**Sent:** Tuesday, August 8, 2023 10:28 AM  
**To:** Derek Zimney  
**Subject:** [EXTERNAL] - RE: City of Fallon - Diamond Creek 2 Tentative Map

The subject property lies within the City of Fallon service area.

Municipal water service is subject to City of Fallon rules and regulations and approval by the Office of the State Engineer regarding water quantity and availability.

A Will Serve from City of Fallon and a mylar map of the proposed project must be presented to the State Engineer for approval and signed through his office prior to development.

Derek,

Yeah, I think I skipped over this one, sorry.  
Everything seems to be in perfect order, otherwise.

As of June 1, 2021, the Office of the State Engineer is open to the public. Please call 684-2800 upon arrival and a representative will come down to escort you to our office.

**Steve Shell**  
Nevada Division of Water Resources  
775-684-2836

---

**From:** Derek Zimney <dzimney@fallonnevada.gov>  
**Sent:** Wednesday, August 2, 2023 9:36 AM  
**To:** Steve Shell <sshell@water.nv.gov>; Malcolm Wilson <mjwilson@water.nv.gov>  
**Cc:** Eric Anderson <eric@bighornconsulting.net>  
**Subject:** RE: City of Fallon - Diamond Creek 2 Tentative Map

**WARNING** - This email originated from outside the State of Nevada. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Steve –

Just checking in to make sure you received everything you need for this map.

Thank you,

Derek

**Derek Zimney, P.E.** | City Engineer



**Derek Zimney**

---

**From:** eric@bighornconsulting.net  
**Sent:** Tuesday, August 1, 2023 11:05 AM  
**To:** ida@tcid.org  
**Cc:** juanita@tcid.org; Derek Zimney  
**Subject:** [EXTERNAL] - RE: Diamond Creek Phase 2

Good morning Ida,

Hope all is well! Thank you very much for your review and your response, I really appreciate it!

Thanks again,

**Eric Anderson, P.E.**  
Principal Engineer



Office: 775.827.6900

Cell: 775.750.7956

[Bighorn Consulting](http://www.bighornconsulting.net)

---

**From:** Ida Adams  
**Sent:** Monday, July 31, 2023 1:43 PM  
**To:** eric@bighornconsulting.net  
**Cc:** juanita@tcid.org  
**Subject:** RE: Diamond Creek Phase 2

Afternoon Eric,

We have taken a look at the map and there are no Project Easements. At this time , we have no comments.

If you have any question please let us know.

**Ida Adams**  
**Clerical Specialist III**  
**& Pump Administrator**

TCID  
P.O. Box 1356  
Fallon, NV 89407  
775-423-2141 ext. 1232

---

**From:** [eric@bighornconsulting.net](mailto:eric@bighornconsulting.net) [<mailto:eric@bighornconsulting.net>]  
**Sent:** Thursday, July 20, 2023 11:39 AM

To: [ida@tcid.org](mailto:ida@tcid.org)  
Cc: [juanita@tcid.org](mailto:juanita@tcid.org)  
Subject: RE: Diamond Creek Phase 2

Good morning Ida,

Hope all is well! Thank you very much for your email, really appreciate it! Very sorry about that check being dated so long ago, I wasn't sure if it was too long ago for you to be able to deposit or not? I will get a check in the mail to you asap.

Thanks again,

**Eric Anderson, P.E.**  
Principal Engineer



Office: 775.827.6900

Cell: 775.750.7956

[Bighorn Consulting](http://Bighorn Consulting)

---

**From:** Ida Adams  
**Sent:** Thursday, July 20, 2023 10:11 AM  
**To:** 'Eric' <[eric@bighornconsulting.net](mailto:eric@bighornconsulting.net)>  
**Cc:** [juanita@tcid.org](mailto:juanita@tcid.org)  
**Subject:** Diamond Creek Phase 2

Morning Eric,

We received your check for the map review but we are unable to write a receipt do to the date on the check 10-13-22. I will send the check back to you so a check with a current date can be issued.

**Ida Adams**  
**Clerical Specialist III**  
**& Pump Administrator**

TCID  
P.O. Box 1356  
Fallon, NV 89407  
775-423-2141 ext. 1232



**CITY OF FALLON**  
**REQUEST FOR COUNCIL ACTION**

---

DATE SUBMITTED: August 17, 2023  
AGENDA DATE: September 5, 2023  
TO: The Honorable City Council  
FROM: Ronald D. Wenger, Chief of Police  
AGENDA ITEM TITLE: Fallon Police Department Monthly Report for July 2023  
TYPE OF ACTION REQUESTED:

- Resolution
- Ordinance
- Formal Action/Motion
- Other – Discussion Only

POSSIBLE COUNCIL ACTION: For Review Only

DISCUSSION: (Attachment, if necessary)

FISCAL IMPACT: None

FUNDING SOURCE: N/A.

PREPARED BY: Emily Rasmussen

PRESENTED TO COUNCIL BY: Chief Ron Wenger

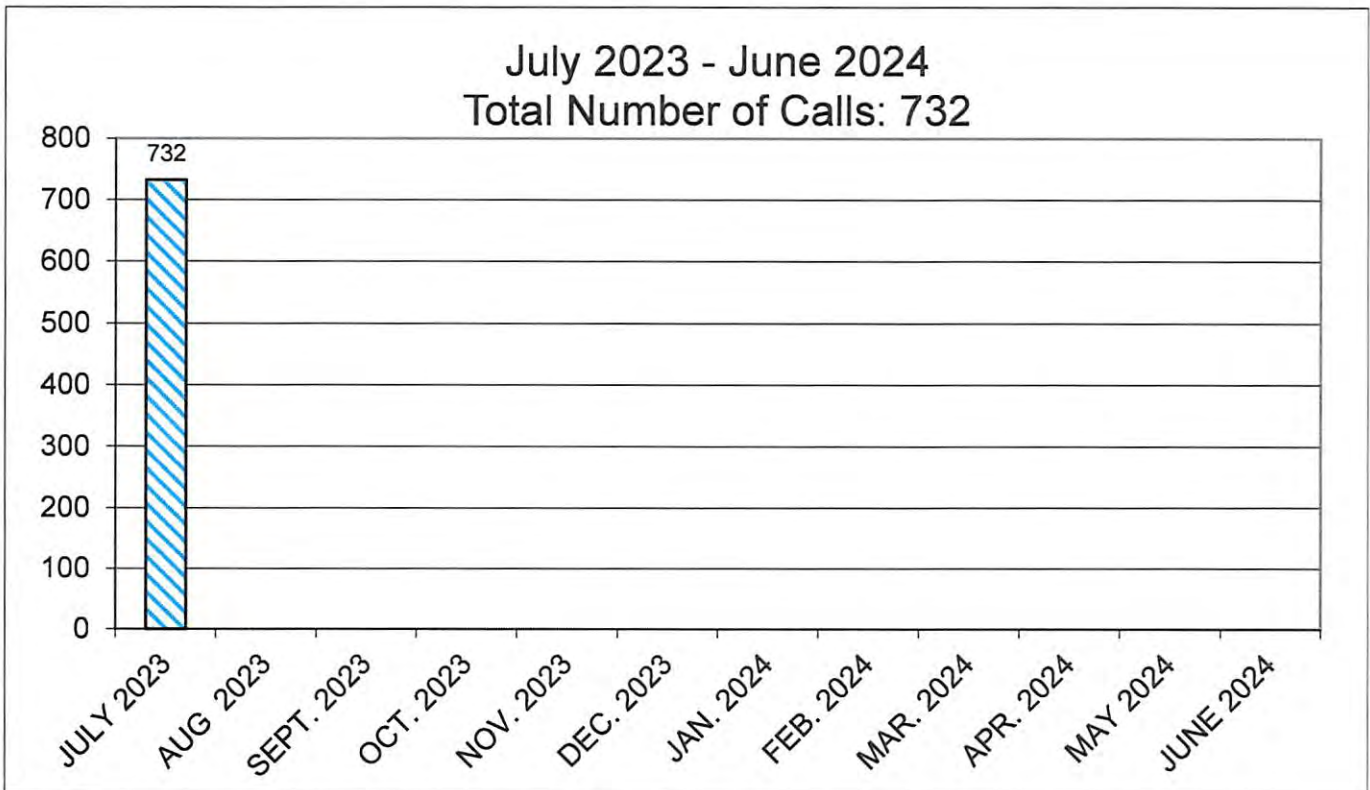
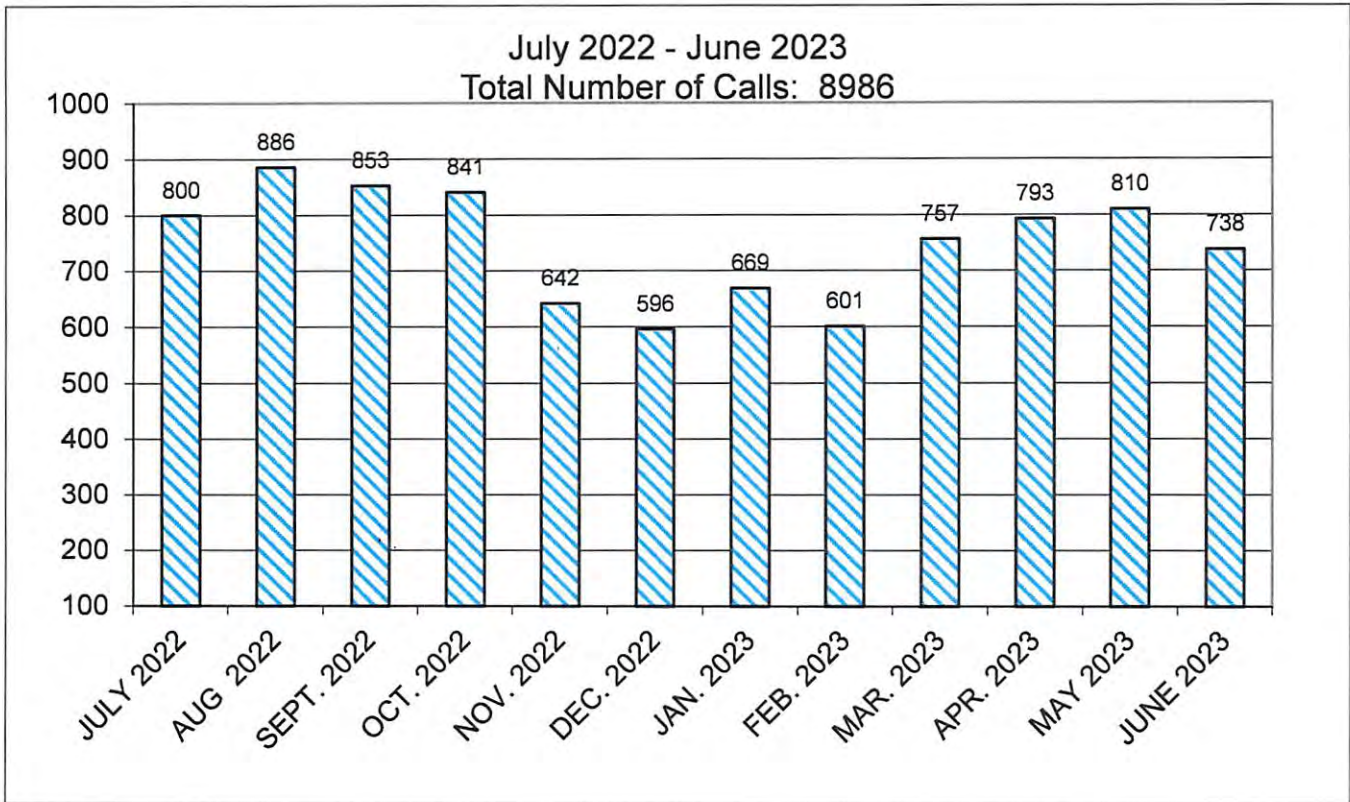
# MONTHLY ACTIVITY REPORT



July 2023

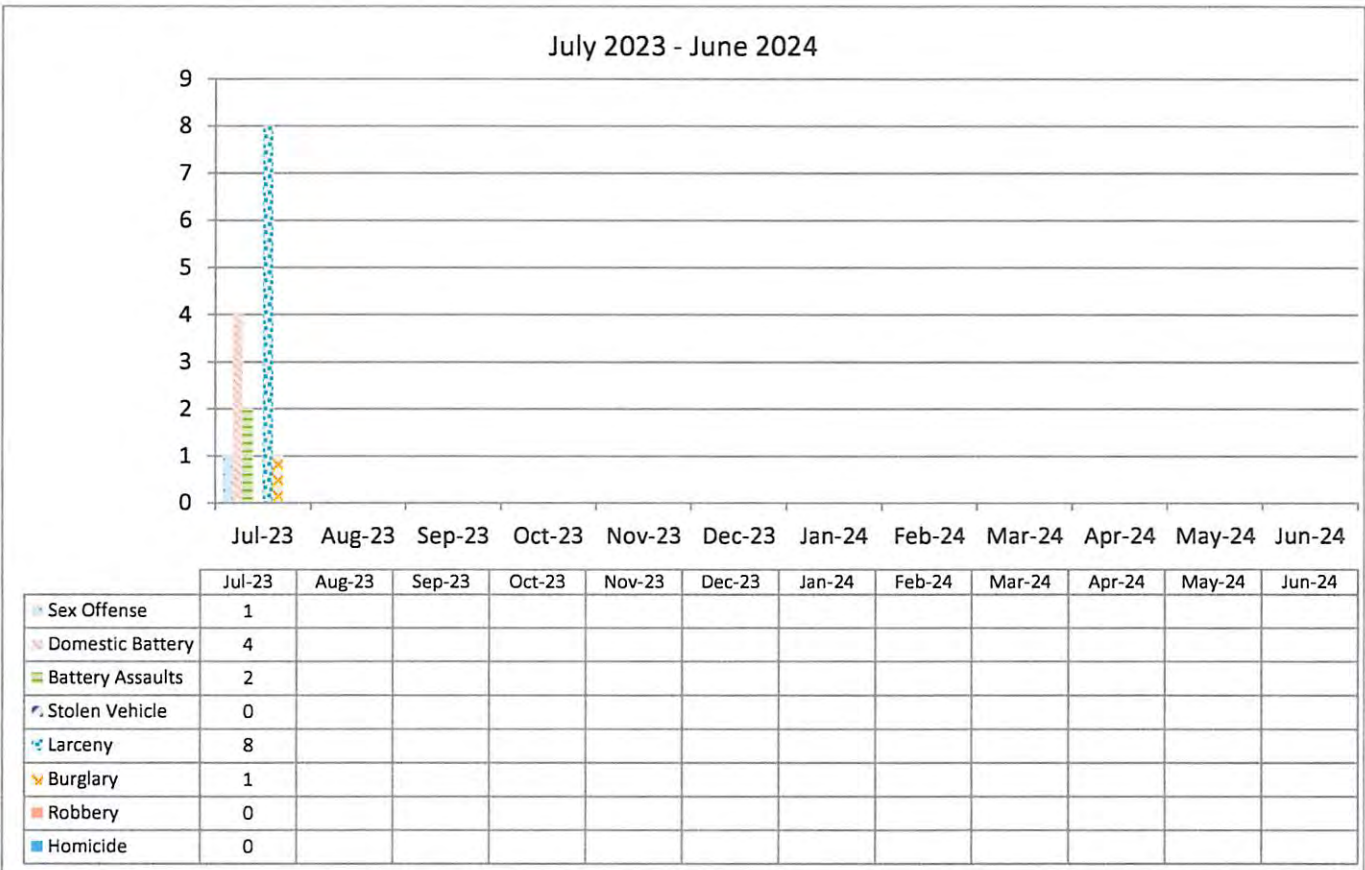
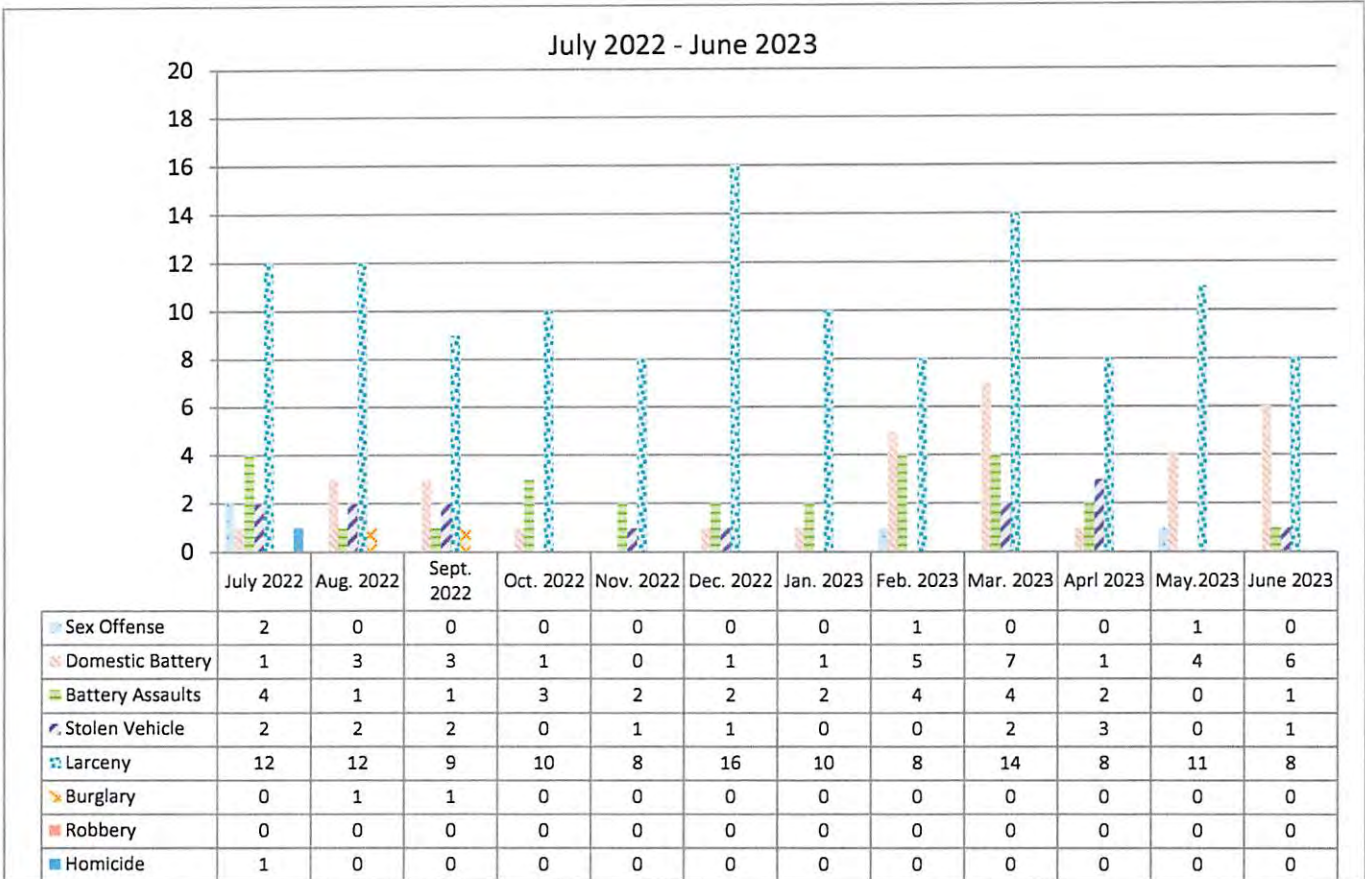
# Calls for Service / Total Incidents Reported

Item 7.



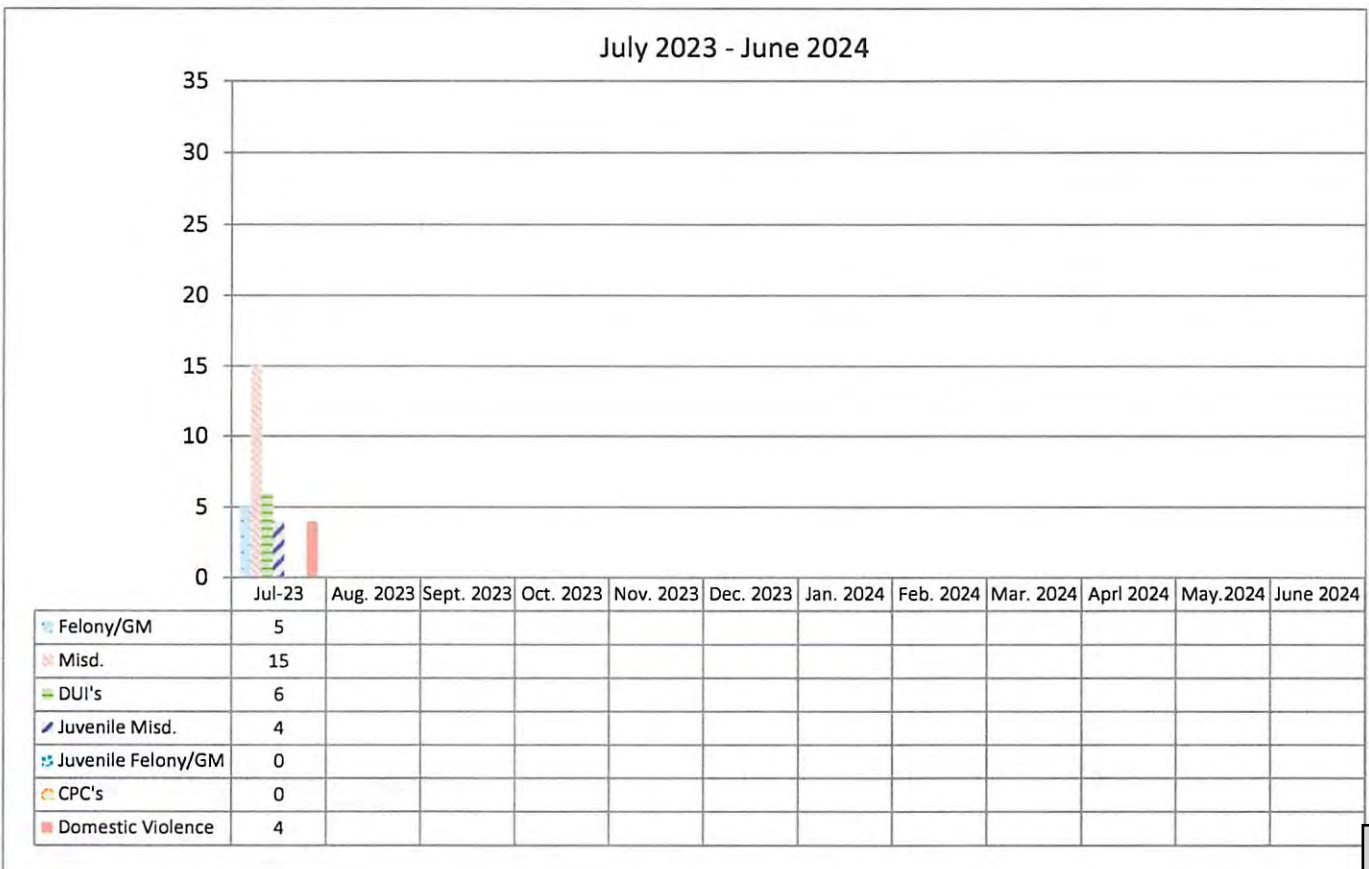
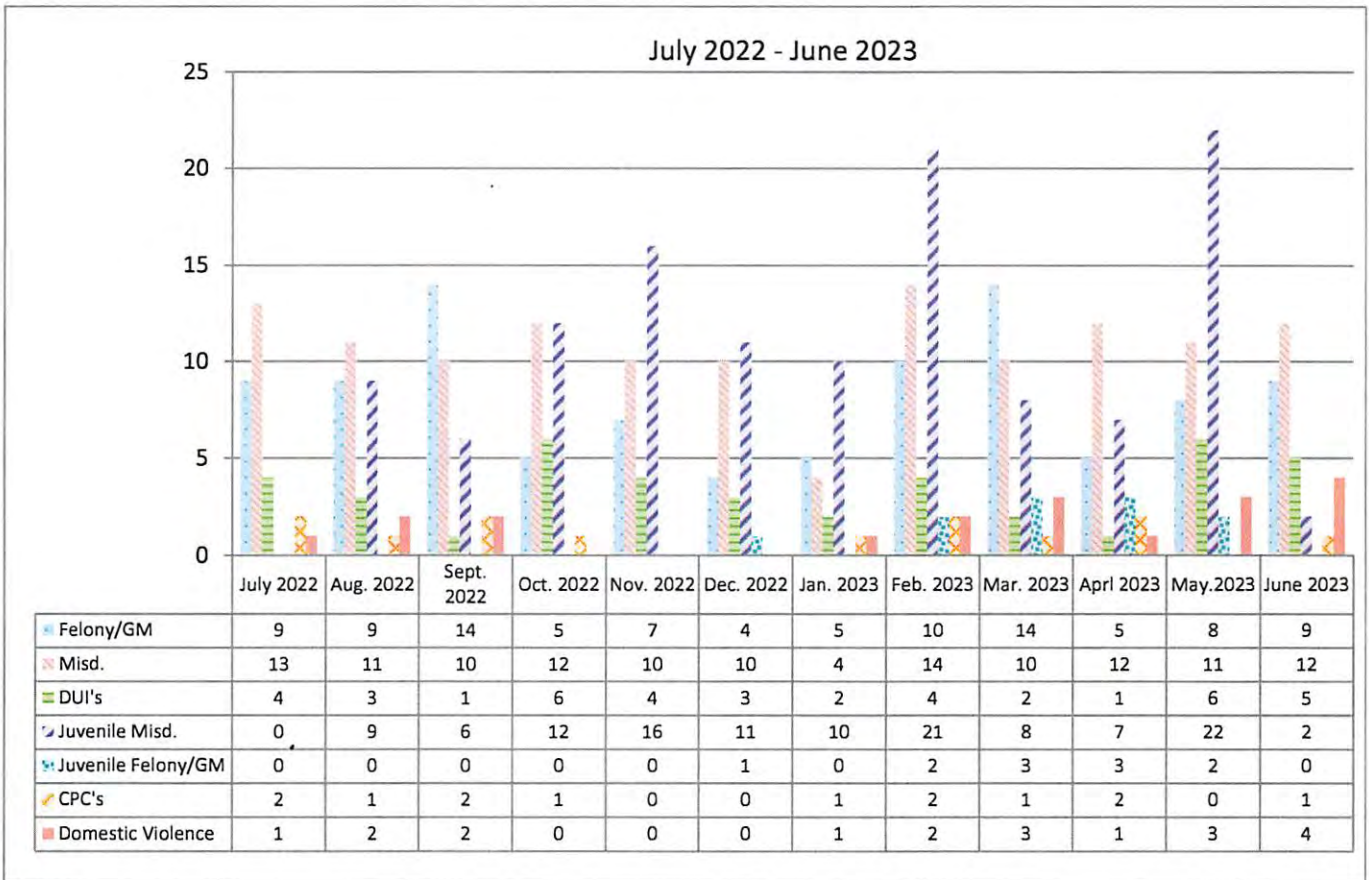
# Crime Summary

Item 7.



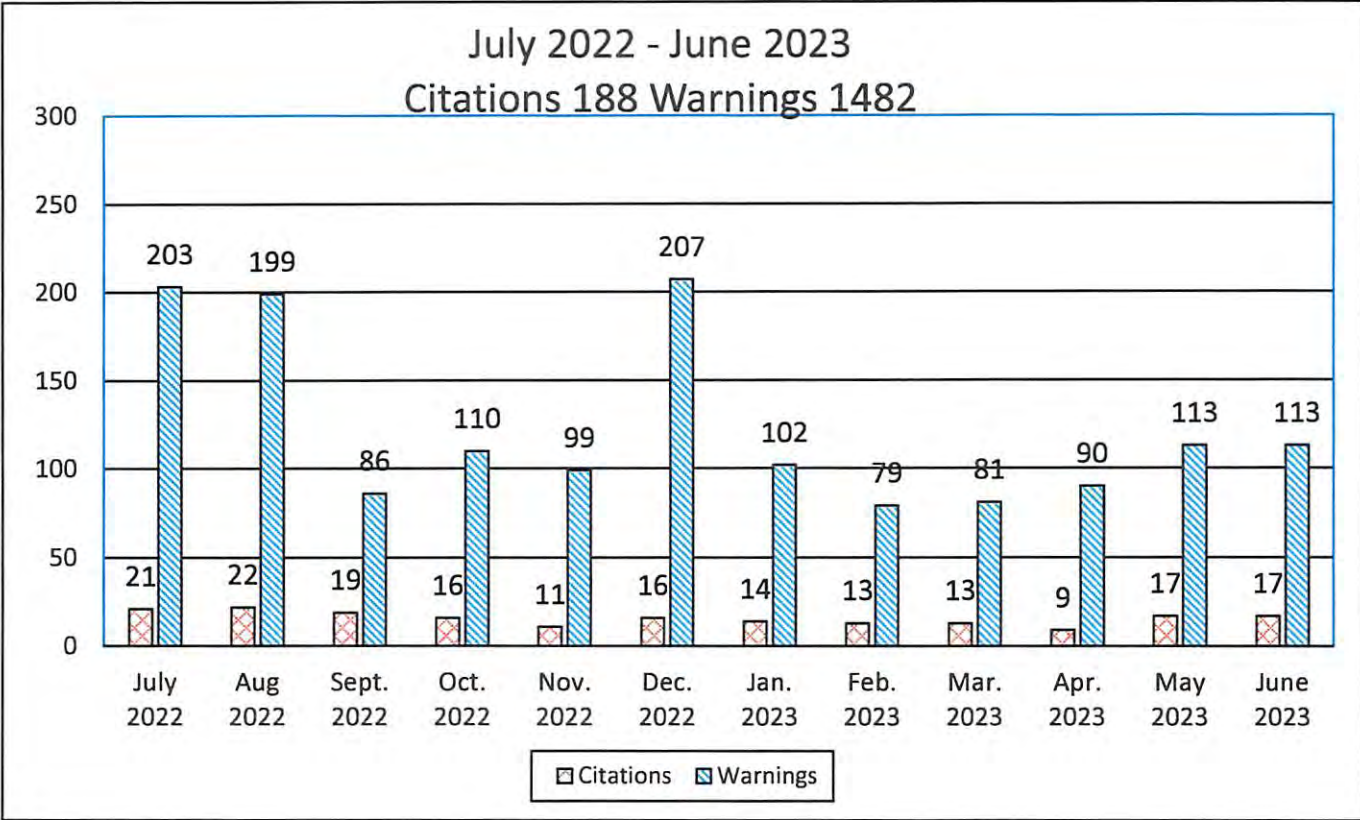
# Arrest Summary

Item 7.



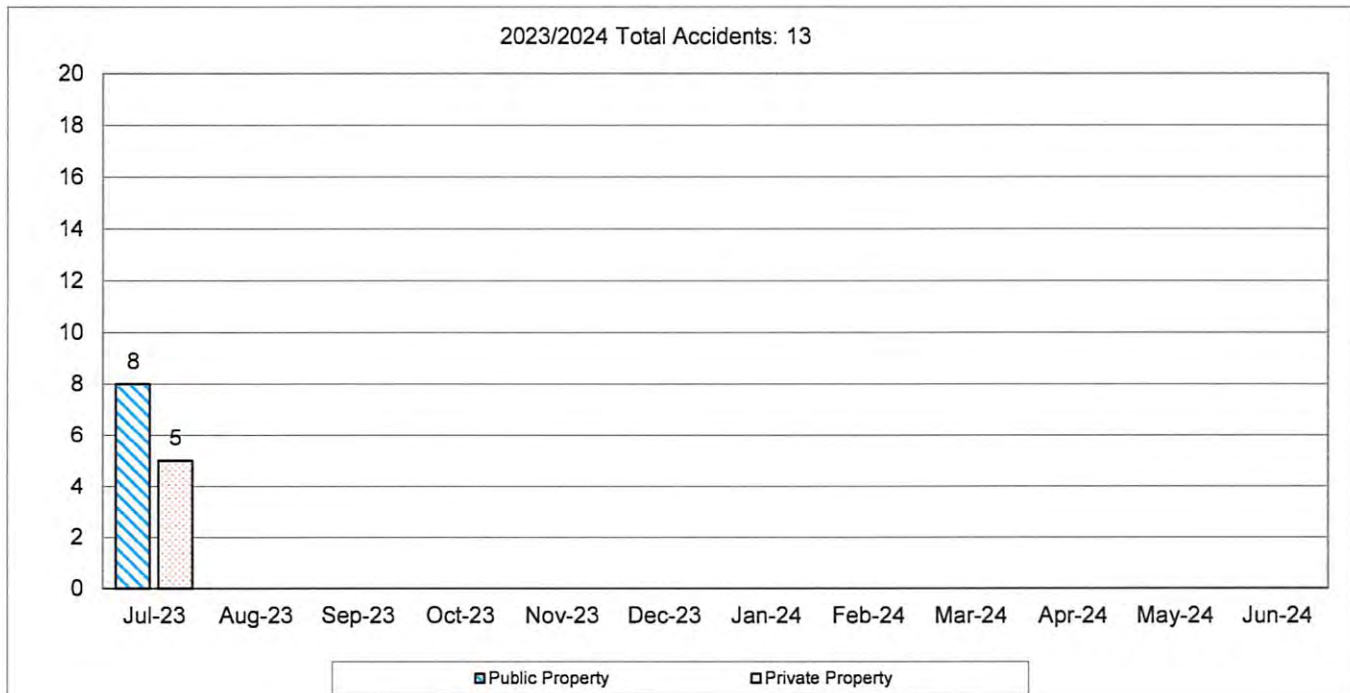
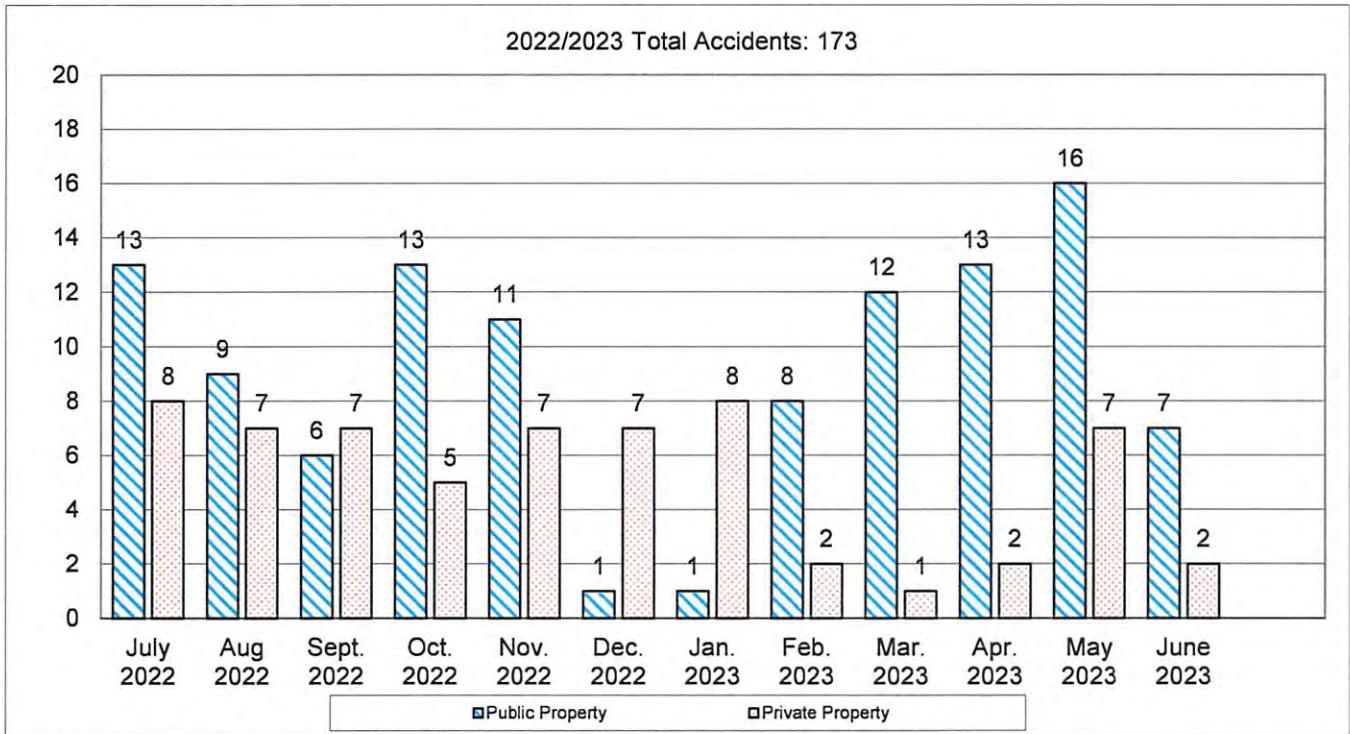
# Moving Citations Traffic Warnings

Item 7.

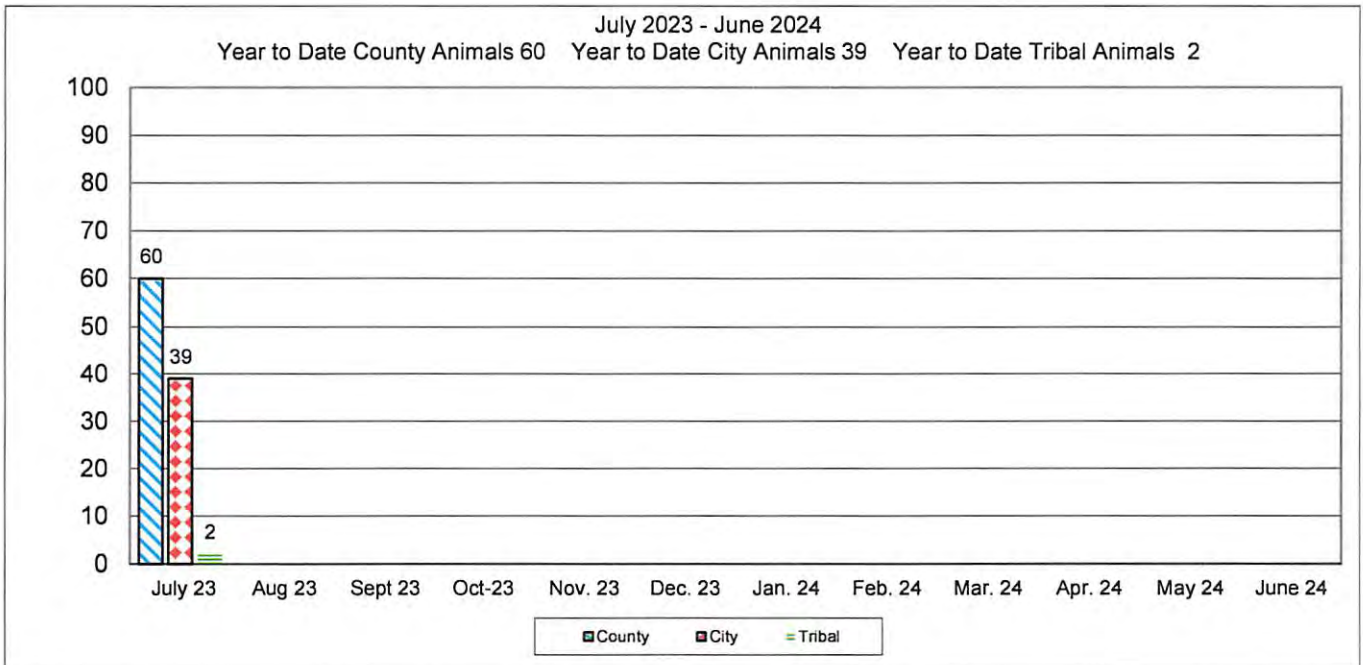
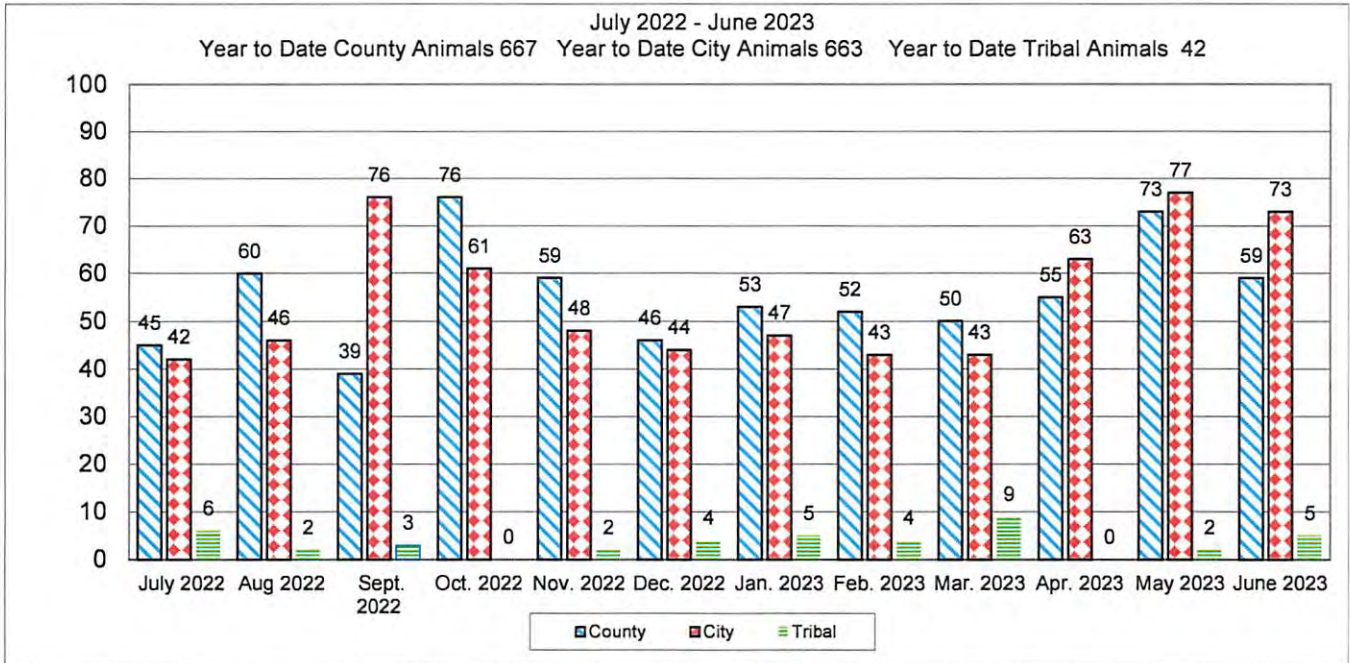




# Traffic Accidents



### Animal Shelter Services





### Activity Report for July 2023

<b>Total Service Hours</b>	<b>133.0</b>
<b>Training Hours</b>	<b>0</b>
<b>Helping Hand Contacts</b>	<b>26</b>
<b>VIN Checks</b>	<b>0</b>
<b><u>Other Assignments:</u></b>	
<i>Helping Hand</i>	<i>35.0 hours</i>
<i>July 4<sup>th</sup> Parade</i>	<i>10.0 hours</i>
<i>Fallon Community Day</i>	<i>10.0 hours</i>

**Fallon Police Department  
Activities / Special Events  
July 2023**

**ASSISTANCE**

During the month of July, we provided zero (0) bus tickets.

**INDOCTRINATION**

During the month of July, there was one (1) indoctrination at NAS Fallon.

**VOLUNTEERS IN POLICE SERVICES**

July 2023 the Fallon Police VIPS volunteered one hundred thirty-three (133) hours to the agency. These hours consisted of assistance with Helping Hands, the 4th of July Parade & Community Day.

**OTHER PUBLIC RELATIONS**

During July officers conducted special detail for the following:

- On July 4<sup>th</sup>, 2023, officers provided traffic control for the 4<sup>th</sup> of July parade.
- On July 18<sup>th</sup>, 2023, Detective Goodrick participated in a crime scene learning experience for SumFun.
- On July 18<sup>th</sup>, 2023, CSO Burgess & Capt. Babiarz set up a radar trailer in the area of Oats Park.
- On July 25<sup>th</sup>, 2023, Sgt. Jacobs collected donated toys for kids in foster care.
- On July 29<sup>th</sup>, 2023, Detective Goodrick, FPD VIPS, CSO Hammond & CSO Norcutt handed out school supplies at Fallon Community Day.
- On July 31<sup>st</sup>, 2023, Detective Goodrick conducted an active shooter training for Museum Staff.

**BREAKDOWN OF ARRESTS**

During the month of July, the Police Department had thirty-five (35) total arrests:

- Of the six (6) felony arrests, one (1) was a P&P violation, and there were two (2) felony warrant arrests.
- There were no (0) gross misdemeanor arrests.
- Of the fifteen (15) misdemeanor arrests, twelve (12) were misdemeanor warrant arrests.
- There were four (4) juvenile arrests, all were misdemeanors.

**Fallon Police Department**  
**Citizen Survey Results**  
**July 2023**

When you contacted the Police Department, how satisfied were you with the ability of the dispatcher or employee that assisted you?

VERY SATISFIED	SATISFIED	DISSATISFIED	NO OPINION
1			

Were you satisfied with the courtesy and concern shown by the dispatcher or employee?

VERY SATISFIED	SATISFIED	DISSATISFIED	NO OPINION
1			

Are you satisfied with the Police Department's response time?

VERY SATISFIED	SATISFIED	DISSATISFIED	NO OPINION
1			

Regarding your most recent contact, please rate the Officer in the following areas:

Officer name (s) Ofc. Jessica Zamora

Dispatcher (s) \_\_\_\_\_

	VERY SATISFIED	SATISFIED	DISSATISFIED	NO OPINION
Concern	1			
Courtesy	1			
Knowledge	1			
Problem Solving Ability	1			
Professional Conduct	1			

Overall, how satisfied are you with the Fallon Police Department?

VERY SATISFIED	SATISFIED	DISSATISFIED	NO OPINION
1			